

GENERAL NOTES

- CODE COMPLIANCE**
ALL WORK SHALL COMPLY WITH THE 2018 IBC, 2018 IRC, 2018 IMC, 2018 IFDC, 2018 NATIONAL FUEL GAS CODE, NFPA 54, 2018 LIQUEFIED PETROLEUM GAS CODE, NFPA 58, 2018 IFC, 2018 UPC, 2018 WSEC, WAC 51-11, 2018 WAQ, WAC 51-13, 2018 NEC, AND WITH ALL LOCAL CODES AND ORDINANCES.
- DIMENSIONS**
A. DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS PRIOR TO STARTING CONSTRUCTION. NOTIFY THE ARCHITECT OF DISCREPANCIES. IF WORK IS STARTED PRIOR TO NOTIFICATION, THE GENERAL AND SUBCONTRACTOR PROCEED AT THEIR OWN RISK.
B. UNLESS OTHERWISE NOTED, PLAN DIMENSIONS ARE TO FACE OF STUDS OR FACE OF CONCRETE WALLS. FACE OF STONE VENEER LIES 6" +/- OUTSIDE THE FACE OF FRAMING. INTERIOR PLAN DIMENSIONS ARE TO FACE OF STUDS UNLESS OTHERWISE NOTED.
C. VERIFY ALL ROUGH-IN DIMENSIONS FOR WINDOWS, DOORS, PLUMBING, ELECTRICAL FIXTURES AND APPLIANCES PRIOR TO COMMITMENT OF WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES OF DIMENSIONAL TOLERANCES REQUIRED.
- DOCUMENT REVIEW/VERIFICATION**: CONSULT WITH ARCHITECT REGARDING ANY SUSPECTED ERRORS, OMISSIONS, OR CHANGES ON PLANS BEFORE PROCEEDING WITH THE WORK.
- ROUGH OPENINGS/BACKING**: VERIFY SIZE AND LOCATION, AS WELL AS PROVIDE ALL OPENINGS THROUGH FLOORS AND WALLS, FURRING, CURBS, ANCHORS, INSERTS, EQUIPMENT BASES AND ROUGH BUCKS/BACKING FOR SURFACE-MOUNTED ITEMS.
- FURRING**: PROVIDE FURRING AS REQUIRED TO CONCEAL MECHANICAL AND/OR ELECTRICAL EQUIPMENT IN FINISHED AREAS. FURRING NOT SHOWN ON PLANS SHALL BE APPROVED BY ARCHITECT PRIOR TO CONSTRUCTION.
- GRADES**: VERIFY ALL GRADES AND THEIR RELATIONSHIP TO THE BUILDING(S).
- FLOOR LINES**: "FLOOR LINE" REFERS TO TOP OF CONCRETE SLAB OR TOP OF WOOD SUBFLOOR.
- REPETITIVE FEATURES**: OFTEN DRAWN ONLY ONCE AND SHALL BE COMPLETELY PROVIDED AS IF DRAWN IN FULL.
- DOORS**: DOORS NOT DIMENSIONALLY LOCATED SHALL BE 6" FROM STUD FACE TO EDGE OF DOOR, ROUGH OPENING OR CENTERED BETWEEN WALLS AS SHOWN.
- WOOD ON CONCRETE**: WOOD MEMBERS IN CONTACT WITH CONCRETE AND/OR EXPOSED TO WEATHER, PROVIDE PRESSURE TREATED SILL PLATES.

ENERGY NOTES

CODE(S): 2018 INTERNATIONAL BUILDING CODE (IBC)
2018 INTERNATIONAL RESIDENTIAL CODE (IRC)
2018 WASHINGTON ENERGY CODE (WEC)

CLIMATIC ZONE: 4C - MARINE
SPACE HEAT TYPE: NATURAL GAS, FORCED AIR
INSULATION VALUES: PRESCRIPTIVE METHOD (ALL NEW AREA)
WALLS: R-19
FLAT ATTICS/CEILINGS: R-49/R-38
FLOORS (OVER UNHEATED SPACES): R-38
VAULTED CEILINGS: R-38
SLAB-ON-GRADE: R-10

THERMAL STANDARDS FOR OPENINGS UNLIMITED OPTION
AIR INFILTRATION: MANUFACTURED DOORS/WINDOWS: CONFORM TO SECTION 502.1.5 OF THE WASHINGTON STATE ENERGY CODE
EXTERIOR JOINTS/OPENINGS: SEAL, CAULK, GASKET OR WEATHERSTRIP TO LIMIT AIR LEAKAGE AT EXTERIOR JOINTS AROUND WINDOW AND DOOR FRAMES, OPENINGS BETWEEN WALLS AND FOUNDATION, BETWEEN WALLS AND ROOF, OPENINGS AT PENETRATIONS OF UTILITY SERVICES AND ALL OTHER SUCH OPENINGS IN THE BUILDING ENVELOPE.

MOISTURE CONTROL:
VAPOR RETARDER BONDED TO BATT INSULATION; INSTALL WITH STAPLES NOT MORE THAN 8 INCHES ON CENTER AND AND WITH A GAP BETWEEN AND OVER FRAMING NOT GREATER THAN 1/16 OF AN INCH; OR, VAPOR RETARDER OF ONE PERM PERM CUP RATING (4 MIL POLYETHYLENE)

ATTICS/CEILINGS:
VAPOR RETARDER OF ONE PERM CUP RATING (4 MIL POLYETHYLENE). INSTALL CONTINUOUSLY
CRAWL SPACE:
CONTINUOUS 6 MIL POLYETHYLENE
VENTILATION:
ATTICS WITH BATTS:
BAFFLE VENT OPENINGS TO DEFLECT AIR ABOVE INSULATION SURFACE
ENCLOSED JOIST OR RAFTER SPACES:
PROVIDE MINIMUM OF ONE INCH CLEAR VENTED AIR SPACE ABOVE INSULATION. TAPER OR COMPRESS INSULATION AT PERIMETER TO INSURE PROPER VENTILATION
HEATING & COOLING:
FORCED AIR NATURAL GAS HEATING SYSTEM.
TEMP. CONTROL:
FOR HEATING AND COOLING, THERMOSTAT SHALL BE CAPABLE OF BEING SET FROM 55-85 DEGREES FAHRENHEIT AND OF OPERATING THE HEATING/COOLING SYSTEM IN SEQUENCE. THERMOSTAT TO BE AUTOMATIC DAY/NIGHT SETBACK TYPE.

DUCT INSULATION:
THERMALLY INSULATE ALL PLENUMS, DUCTS AND ENCLOSURES IN ACCORDANCE WITH TABLE 406.2 OF THE 2018 WASHINGTON STATE ENERGY CODE.
a. ALL HEATING DUCTS IN UNCONDITIONED SPACES SHALL BE INSULATED WITH A MIN. OF R-8. ALL SEAM JOINTS SHALL BE TAPED, SEALED AND FASTENED WITH THE MINIMUM OF FASTENERS PER 2018 WSEC.

PIPE INSULATION:
NON RECIRCULATING HOT AND COLD WATER PIPES LOCATED IN UNCONDITIONED SPACE SHALL BE INSULATED TO R-3 MIN.
WHOLE HOUSE VENTILATION:
VENTILATION TO BE SUPPLIED BY FORCED AIR FURNACE
a. FAN SIZE TO BE DESIGNED BY MECHANICAL CONTRACTOR, TO MEET CURRENT WSEC.
RA03.1.1 PROGRAMMABLE THERMOSTAT, WHERE THE PRIMARY HEATING SYSTEM IS A FORCED-AIR FURNACE, AT LEAST ONE THERMOSTAT PER DWELLING UNIT SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THE THERMOSTAT SHALL ALLOW FOR, AT A MINIMUM, A 5-2 PROGRAMMABLE SCHEDULE (WEEKDAYS/WEEKENDS) AND BE CAPABLE OF PROVIDING AT LEAST TWO PROGRAMMABLE SETBACK PERIODS PER DAY. THIS THERMOSTAT SHALL INCLUDE THE CAPABILITY TO SET BACK OR TEMPORARILY OPERATE THE SYSTEM TO MAINTAIN ZONE TEMPERATURES DOWN TO 55°F (13°C) OR UP TO 85°F (29°C). THE THERMOSTAT SHALL INITIALLY BE PROGRAMMED BY THE MANUFACTURER WITH A HEATING TEMPERATURE SET POINT NO HIGHER THAN 70°F (21°C) AND A COOLING TEMPERATURE SET POINT NO LOWER THAN 78°F (26°C). THE THERMOSTAT AND/OR CONTROL SYSTEM SHALL HAVE AN ADJUSTABLE DEADBAND OF NOT LESS THAN 10°F. EXCEPTIONS:
1. SYSTEMS CONTROLLED BY AN OCCUPANT SENSOR THAT IS CAPABLE OF SHUTTING THE SYSTEM OFF WHEN NO OCCUPANT IS SENSED FOR A PERIOD OF UP TO 30 MINUTES.
2. SYSTEMS CONTROLLED SOLELY BY A MANUALLY OPERATED TIMER CAPABLE OF OPERATING THE SYSTEM FOR NO MORE THAN TWO HOURS.

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2. SYSTEMS CONTROLLED SOLELY BY A MANUALLY OPERATED TIMER CAPABLE OF OPERATING THE SYSTEM FOR NO MORE THAN TWO HOURS.

ENERGY CODE

-HEATING SYSTEM IS A NATURAL GAS FURNACE FORCED AIR SYSTEM.
-CONSTRUCTION SHALL ADHERE TO:

CLIMATE ZONE: 4C - MARINE
-PRESCRIPTIVE PATH
MARINE IX
WINDOWS - 0.28 U-FACTOR
DOORS - 0.20 U-FACTOR

GROSS FLOOR AREA(S)

GFA:
MAIN FLOOR : 1,268.5 S.F.
UPPER FLOOR : 1,615.25 S.F.
GARAGE : 473.0 S.F.
STAIRCASE GFA MODIFY: (88) S.F.

TOTAL GFA : 3,268.75 S.F.
ALLOWED GFA : 3,300.0 S.F.

HARDSCAPE

ALLOWED HARDSCAPE: 756 S.F.
NEW HARDSCAPE: WALKWAYS : 126 S.F.
Or 1.5%

AVERAGE BUILDING ELEVATION

MARK	WALL LENGTH	GRADE / ELEVATION	CALCULATION
A	17'	+274'	4658
B	3.5'	+274.5'	960.75
C	21.25'	+275'	5843.75
D	3.5'	+275'	962.5
E	16.5'	+275'	4537.5
F	7.0'	+275.5'	1928.5
G	5'	+275.5'	1377.5
H	22'	+276'	6072
I	21.0'	+276'	5796
J	3.0'	+276'	828
K	38.75'	+276'	10695
L	32'	+275'	8800
TOTAL	= 190.5'		54,459.5
A.B.E. =	275.38'		
275.38 + 30 =	+305.38' = MAX. HT.		

ENERGY CREDITS = 6.0

(PRESCRIPTIVE)
TABLE 406.2 ENERGY CREDITS (Single Family)

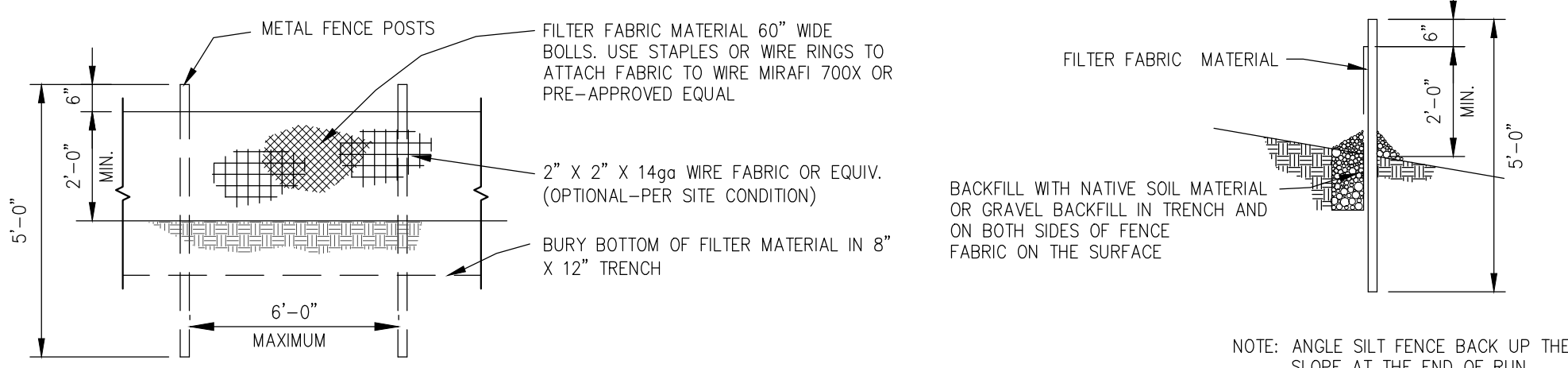
Option	Description	Credit
HEATING OPTIONS # 2	HEAT PUMP	= 1.0
ENERGY OPTIONS 1.3	EFFICIENT BUILDING ENVELOPE	= 0.5
2.2	AIR LEAKAGE CONTROL & EFFICIENT VENTILATION (COMPLIANCE BASED ON SECT. 402.4.1.2)	= 1.0
3.5	AIR SOURCE, CENTRALLY DUCTED HEAT PUMP (MINIMUM HSPF OF 11.0)	= 1.5
5.5	EFFICIENCY WATER HEATER (MEETING STANDARDS OF Tier III of NEEA'S SPEC.'S)	= 2.0
6.0 TOTAL ENERGY CREDITS		

LOT COVERAGE

GFA + LOT COVERAGE
LOT-2 : 3360-838 = 2,522 s.f. (Vehicle)
STRUCTURE = 2,323 s.f.
VEHICULAR USE = 838 s.f.
TOTAL COVERAGE = 3,161 s.f.
< 3,360 Max. or 37.6%

LOT SLOPE

HIGH POINT: 278'
LOW POINT: 272'
DIFFERENCE: 6.0'
DISTANCE BETWEEN: 136.1' / 6.0 = 4.4% SLOPE



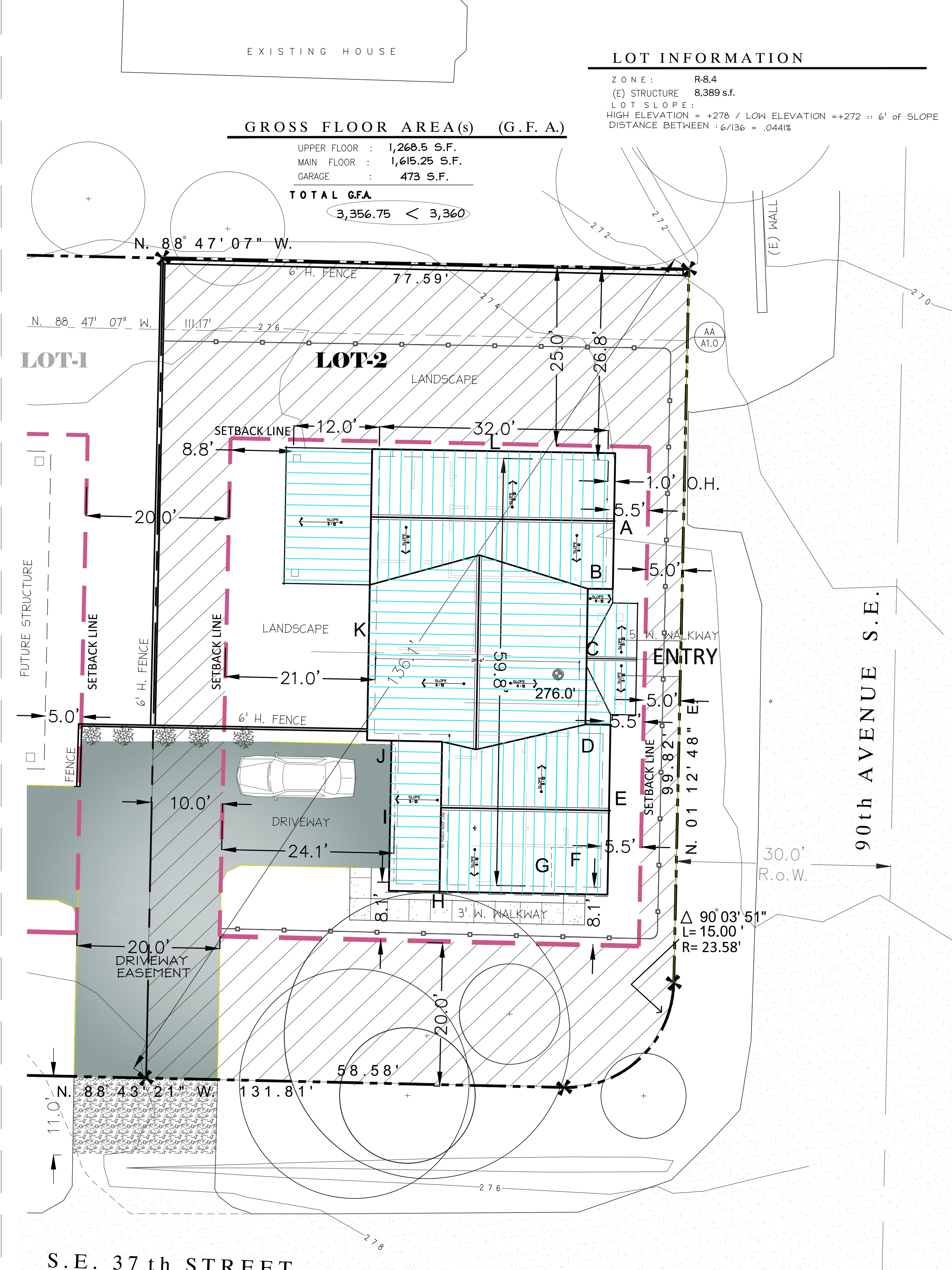
SILT FENCE DETAIL
SCALE: N.T.S.

GROSS FLOOR AREA(S) (G.F.A.)

UPPER FLOOR : 1,268.5 S.F.
MAIN FLOOR : 1,615.25 S.F.
GARAGE : 473 S.F.
TOTAL GFA : 3,356.75 < 3,360

LOT INFORMATION

ZONE : R-8.4
(E) STRUCTURE : 8,389 s.f.
LOT SLOPE :
HIGH ELEVATION = +278 / LOW ELEVATION = +272 :: 6' of SLOPE
DISTANCE BETWEEN : 6/136 = .04412



S.E. 37th STREET

SITE KEY

- PROPERTY LINE
- CONTINUOUS SILT FENCE
- SETBACK LINE
- SITE CONTOUR LINE
- NEW CONTOUR LINE
- REVISED CONTOUR LINE
- 4" PVC TIGHT-LINE DRAINAGE
- 4" DOWNSPOUT ELEVATION MARK
- DRIVEWAY SURFACE
- TEMP. QUARRY ROCK APRON
- SETBACK AREA
- PROPERTY CORNER MARK

LEGAL DESCRIPTION

PARCEL No. : 5021900400
THAT PORTION OF PARCEL B, CITY OF MERCER ISLAND LOT LINE REVISION NO. 50617-017, RECORDED UNDER RECORDING NO. 201808090003, RECORDS OF KING COUNTY, WASHINGTON.
LOT 14 AND THE EASTERLY 45 FEET OF THE SOUTH 110 FEET OF LOT 15, BLOCK 3, MADRONA CREST ADDITION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 42 OF PLATS, PAGE 12, IN KING COUNTY WASHINGTON; TOGETHER WITH THAT PORTION OF LOTS 13 AND 15 IN SAID BLOCK 3, DESCRIBED AS FOLLOWS:
BEGINNING AT THE SOUTHEAST CORNER OF SAID LOT 13; THENCE NORTH 88°43'27" WEST, ALONG THE SOUTH SID OF LOT 13, AND ALONG SAID SOUTH LINE EXTENDED WEST, A DISTANCE OF 146.83 FEET; THENCE NORTH 01°12'58" EAST 4.71 FEET; THENCE SOUTH 88°47'17" EAST 146.83 FEET; TO A POINT ON THE EAST LINE OF SAID LOT 13; THENCE SOUTH 01°12'48" WEST, ALONG THE EAST LINE OF SAID LOT 13, A DISTANCE OF 4.87 FEET, TO THE POINT OF BEGINNING.

SITE PLAN

PARCEL No. : 5021900400
SCALE : 1:10

SITE NOTES

- PLACE COMPOST SOCKS, COMPOST BERMS, FILTER FABRIC FENCING, STRAW BAILS, STRAW MATS, OR OTHER APPROVED PERIMETER CONTROLL BMP'S TO ELIMINATE CONSTRUCTION STORMWATER RUN-OFF.
- ELIMINATE UNCONTROLLED CONVEYANCE OF MUD & DIRT INTO THE RIGHT-OF-WAY (R.O.W.)
- COVER BARE SOILS WITH COMPOST BLANKETS, STRAW, MULCH, MATTING, OR OTHER APPROVED EQUAL TO CONTROL CONSTRUCTION STORMWATER RUN-OFF.
- COVER STOCKPILES OF BARE SLOPES WITH COMPOST BLANKETS, TARPS, MATTING OR OTHER APPROVED EQUAL TO CONTROL CONSTRUCTION STORMWATER RUN-OFF.
- MERCER ISLAND - MICC 19.02.030(F)(3)(d) ALL JAPANESE KNOTWEED, (POLYGONUM CUSPIDATUM), & REGULATED CLASS 'A', REGULATED CLASS 'B', REGULATED CLASS 'C' WEEDS, IDENTIFIED ON KING COUNTY NOXIOUS WEED LIST SHALL BE REMOVED FROM PROPERTY PURSUANT TO SUBSECTION 19.02.020(F)(3)(g).

RFA ARCHITECTS
RICHARD A FISHER ARCHITECTS
8245 Northrup Pl. S.W.
SEATTLE, WA 98136
(206) 484-9963
EMAIL: RAFISHER@RICHARDAFISHER.COM
WEB: RICHARDAFISHER.COM
WOLF CREEK RANCH
WINTHROP, WASHINGTON 98862
TEL.: (509) 996-2689

PROJECT NAME: PROJECT ADDRESS:
R K K Construction
3633 90th AVE. SE.
Mercer Is., WA 98040

SET TITLE: PERMIT SET
SHEET TITLE: SITE PLAN & GENERAL NOTES

STAMP:
4884
RICHARD A. FISHER
STATE OF WASHINGTON

PROJECT #: 21030
DATE: MAY 3, 2022
DRAWN BY: N. F. W.
REVISIONS:
Tag Description

SHEET No.:
A1.0

WINDOW SCHEDULE

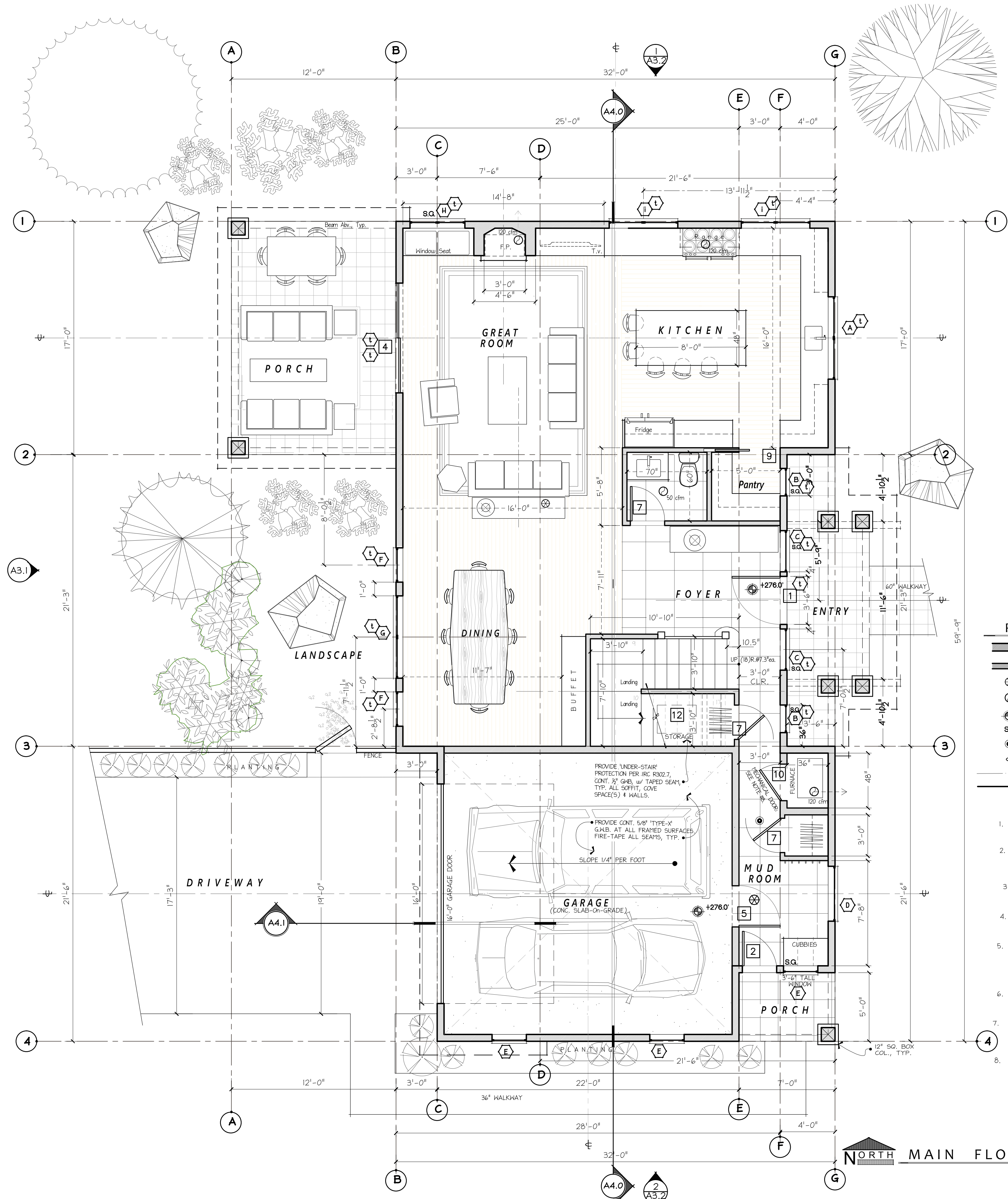
TAG	DIMENSIONS (R.O. = w x h.)	TYPE	NOTES
A	(2) 3'-0" X 3'-6"	CSMNT/CSMNT	
B	2'-0" X 3'-6"	CASEMENT	
C	3'-0" X 5'-0"	SIDELITE	SAFETY GLAZE
D	4'-0" X 4'-0"	PICTURE	
E	2'-6" X 3'-6"	CASEMENT	
F	2'-6" X 5'-0"	CASEMENT	
G	(2) 3'-0" X 5'-0"	PICT / PICT	
H	(2) 2'-0" X 4'-6"	CSMNT/CSMNT	
I	(2) 2'-6" X 3'-6"	CSMNT/CSMNT	
J	2'-6" X 4'-6"	CASEMENT	
K	6'-0" X 4'-6"	PICTURE	
L	(2) 3'-0" X 2'-0"	PICT / PICT	
M	(2) 2'-0" X 2'-0"	PICT / PICT	'SITE-MEASURE'
N	(2) 3'-0" X 4'-6"	CSMNT/CSMNT	SAFETY GLAZE
O	3'-0" X 3'-6"	CASEMENT	
P	(2) 3'-0" X 4'-0"	CSMNT/CSMNT	'SITE-MEASURE'
Q	2'-0" X 3'-0"	CASEMENT	
T	Width below X 1'-6"	TRANSOM	

NOTES:
1. 'sg.' = SAFETY GLAZING.
2. DOOR 'U-FACTOR' = 0.20
3. WINDOW 'U-FACTOR' = 0.28

DOOR SCHEDULE

TAG	DIMENSIONS (R.O. = w x h.)	TYPE	NOTES
1	3'-6" X 6'-8"	ENTRY/ HALF-GLASS	SOLID WD./SAFETY GLAZE / LOCKSET
2	2'-6" X 6'-8"	HALF-GLASS	
3	16'-0" X 8'-0"	GARAGE	'CARRAIGE STYLE'
4	(2) 4'-0" X 6'-8"	GLASS	SAFETY GLAZE / LOCKSET
5	3'-0" X 6'-8"	SEPARATION	1-HR. FIRE RATED w/ INTEGRAL SMOKE GASKETS 'SELF-CLOSER' REQUIRED PER R302.5.1
6	3'-0" X 6'-8"	STND. WOOD	
7	2'-6" X 6'-8"	STND. WOOD	
8	(2) 2'-6" X 6'-8"	INTERIOR	'FRENCH-HUNG'
9	2'-6" X 6'-8"	POCKET	POCKET HARDWARE
10	3'-0" X 6'-8"	INTERIOR	LOUVERED MECH. DOOR - SEE PLAN NOTE #8
11	22.5" X 4'-0"	ATTIC ACCESS	DROP DOWN LADDER
12	22.5" X 3'-0"	CRAWL ACCESS	INSULATED PANEL

NOTES:
1. 'sg.' = SAFETY GLAZING.
2. DOOR 'U-FACTOR' = 0.20
3. WINDOW 'U-FACTOR' = 0.28



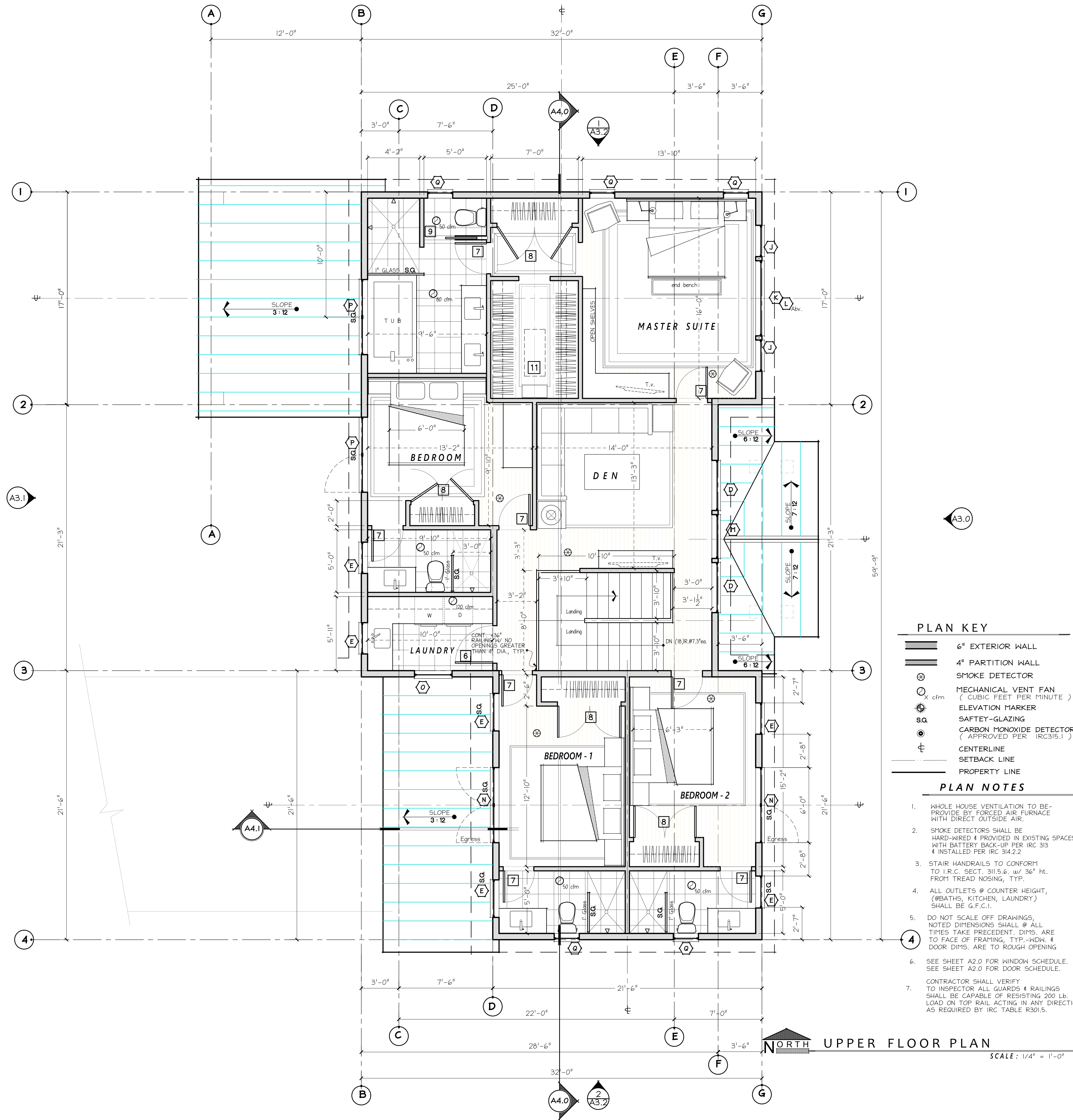
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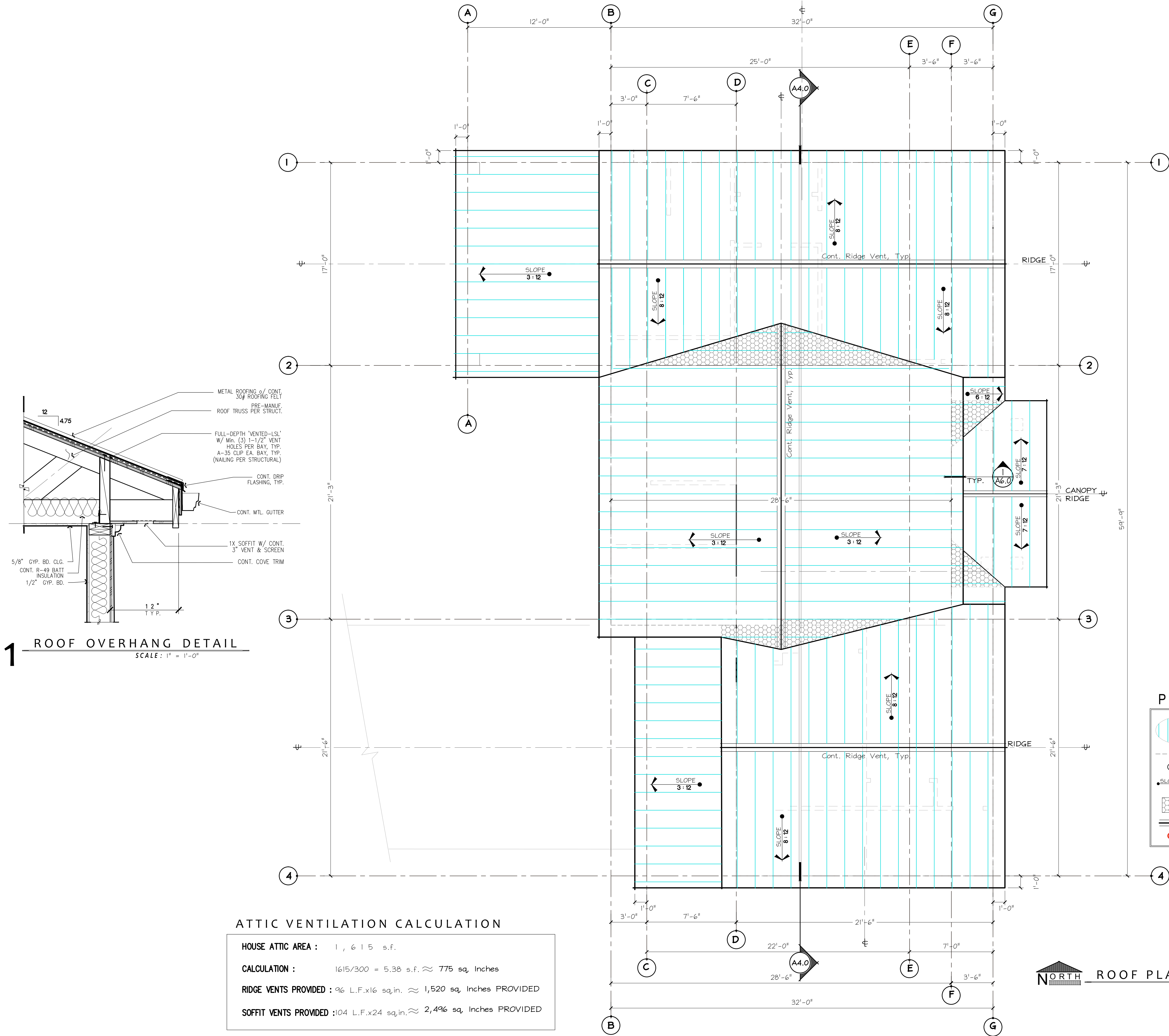
- 6" EXTERIOR WALL
- 4" PARTITION WALL
- SMOKE DETECTOR
- MECHANICAL VENT FAN (CUBIC FEET PER MINUTE)
- ELEVATION MARKER
- SAFETY-GLAZING
- CARBON MONOXIDE DETECTOR (APPROVED PER IRC315.1)
- CENTERLINE
- SETBACK LINE
- PROPERTY LINE

PLAN NOTES

- WHOLE HOUSE VENTILATION TO BE PROVIDED BY FORCED AIR FURNACE WITH DIRECT OUTSIDE AIR.
- SMOKE DETECTORS SHALL BE HARD-WIRED & PROVIDED IN EXISTING SPACES WITH BATTERY BACK-UP PER IRC 313 & INSTALLED PER IRC 314.2.2
- STAIR HANDRAILS TO CONFORM TO I.R.C. SECT. 311.5.6, w/ 36" ht. FROM TREAD NOSING, TYP.
- ALL OUTLETS @ COUNTER HEIGHT, (@BATHS, KITCHEN, LAUNDRY) SHALL BE G.F.C.I.
- DO NOT SCALE OFF DRAWINGS, NOTED DIMENSIONS SHALL @ ALL TIMES TAKE PRECEDENT. DIMS. ARE TO FACE OF FRAMING, TYP.-KDWL & DOOR DIMS. ARE TO ROUGH OPENING
- SEE SHEET A2.0 FOR WINDOW SCHEDULE. SEE SHEET A2.0 FOR DOOR SCHEDULE.
- CONTRACTOR SHALL VERIFY TO INSPECTOR ALL GUARDS & RAILINGS SHALL BE CAPABLE OF RESISTING 200 LB. LOAD ON TOP RAIL ACTING IN ANY DIRECTION AS REQUIRED BY IRC TABLE R301.5.
- 36" MECHANICAL RM. DOOR: PER IMC SECTION 303.3, ALL COMBUSTIBLE AIR MUST BE TAKEN FROM OUTDOORS IN ACCORDANCE WITH IMC CHAPTER 7. MECHANICAL RM. DOORS SHALL BE SOLID CORE WITH EXTERIOR WEATHER STRIPPING & APPROVED SELF-CLOSING DEVICE.

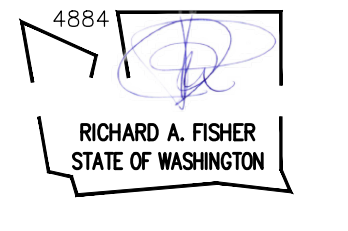
MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"





PROJECT NAME: **R K K Construction**
 PROJECT ADDRESS: **3633 90th AVE. SE.
 Mercer Is., WA 98040**

SET TITLE: **PERMIT SET**
 SHEET TITLE: **ELEVATION**

STAMP:

 RICHARD A. FISHER
 STATE OF WASHINGTON

PROJECT NO: **21030**
 DATE: **MAY 3, 2022**
 DRAWN BY: **N.F.W.**
 REVISIONS:

No.	Description

SHEET NO: **A3.0**

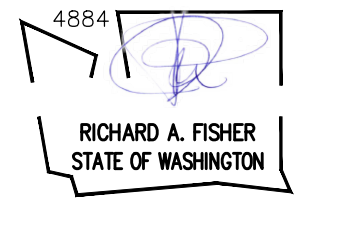


EAST ELEVATION
 SCALE: 1/4" = 1'-0"

PROJECT NAME:	PROJECT ADDRESS:
R K K Construction	3633 90th AVE. SE. Mercer Is., WA 98040

SET TITLE:	PERMIT SET
SHEET TITLE:	ELEVATION

STAMP:



4884
RICHARD A. FISHER
STATE OF WASHINGTON

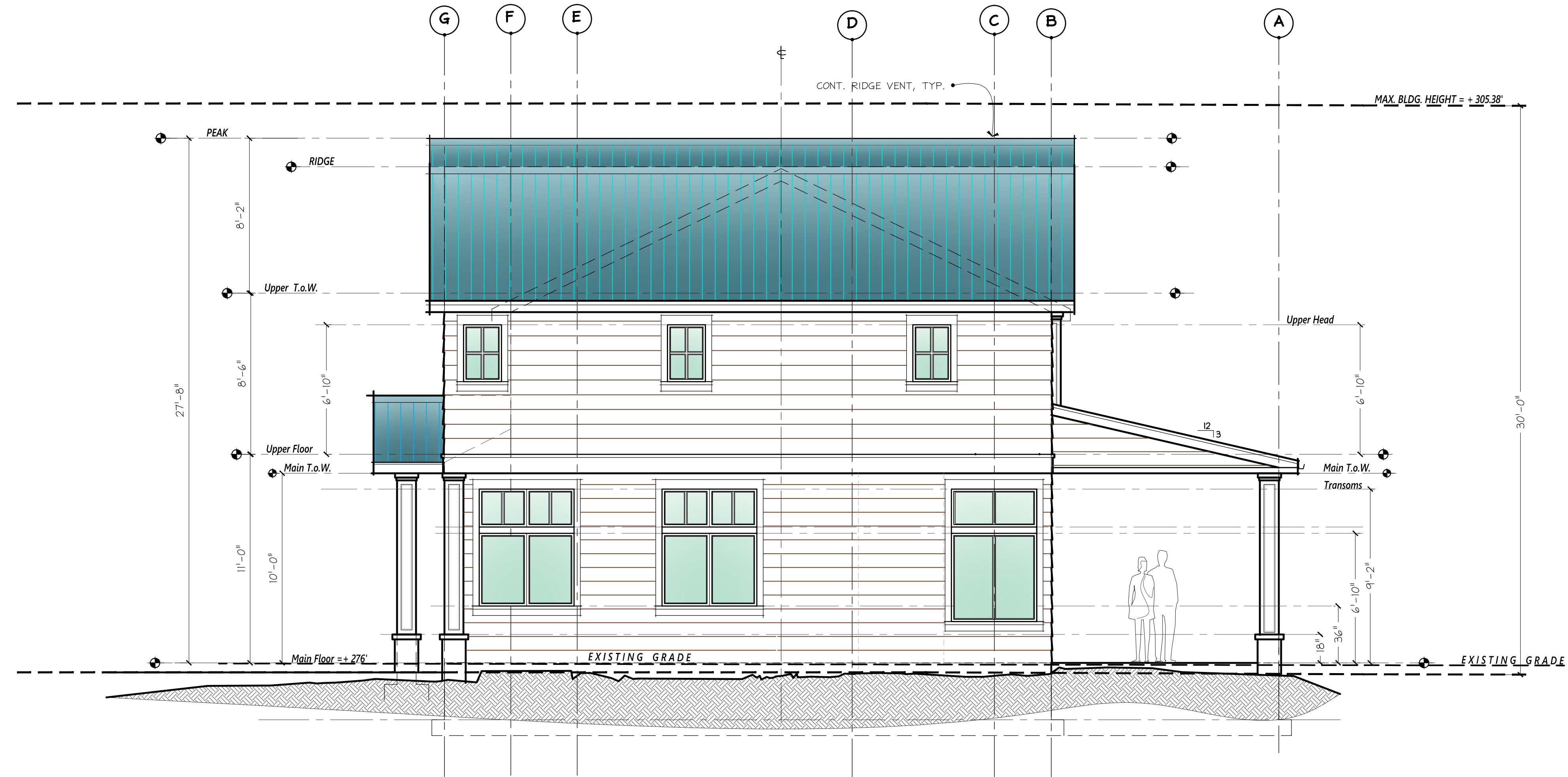
PROJECT #	21030
DATE	MAY 3, 2022
DRAWN BY	N. F. W.
REVISIONS	

SHEET NO.:	A3.1
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WEST ELEVATION

SCALE: 1/4" = 1'-0"



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

PROJECT NAME:	PROJECT ADDRESS:
R K K Construction	3633 90th AVE. SE. Mercer Is., WA 98040

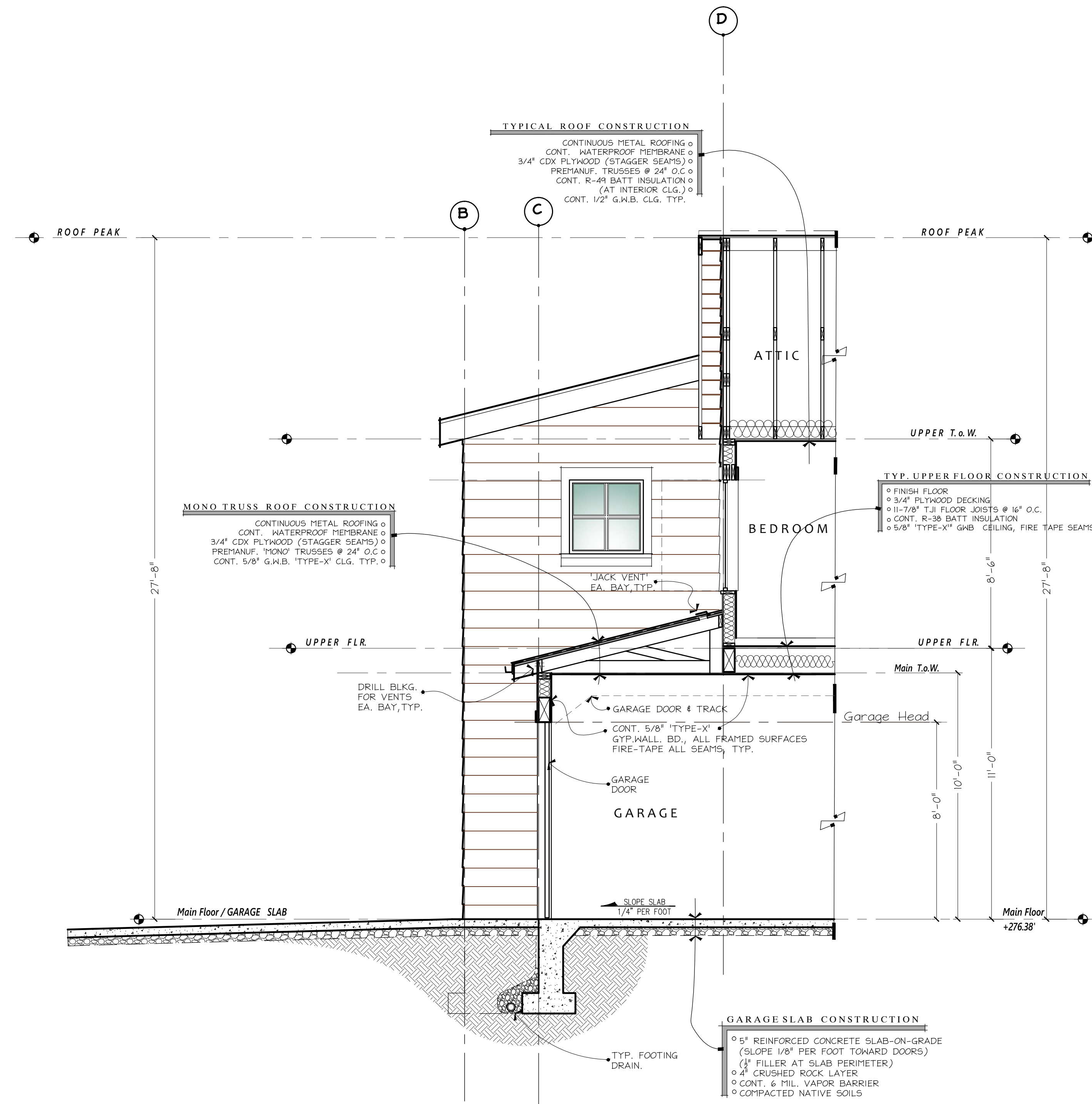
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SHEET TITLE:	ELEVATION

STAMP:

RICHARD A. FISHER
STATE OF WASHINGTON

PROJECT #	21030
DATE	MAY 3, 2022
DRAWN BY	N. F. W.
REVISIONS	
NO.	DESCRIPTION

SHEET NO. **A3.2**



GARAGE SECTION

SCALE: 3/8" = 1'-0"

PROJECT NAME:	PROJECT ADDRESS:
R K K Construction	
3633 90th AVE. SE. Mercer Is., WA 98040	

SET TITLE:	PERMIT SET
SHEET TITLE:	WALL SECTION

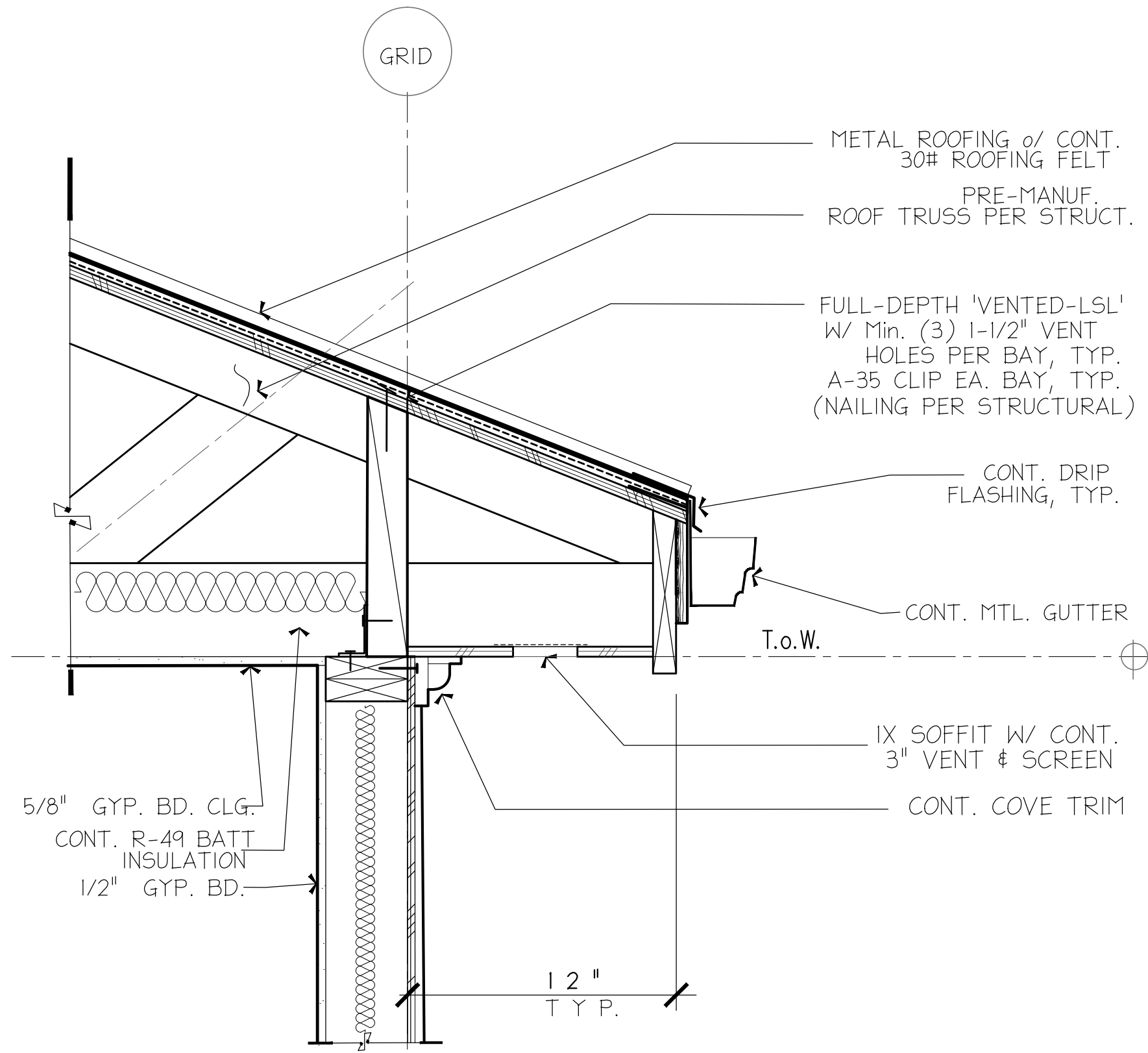
STAMP:

RICHARD A. FISHER
STATE OF WASHINGTON

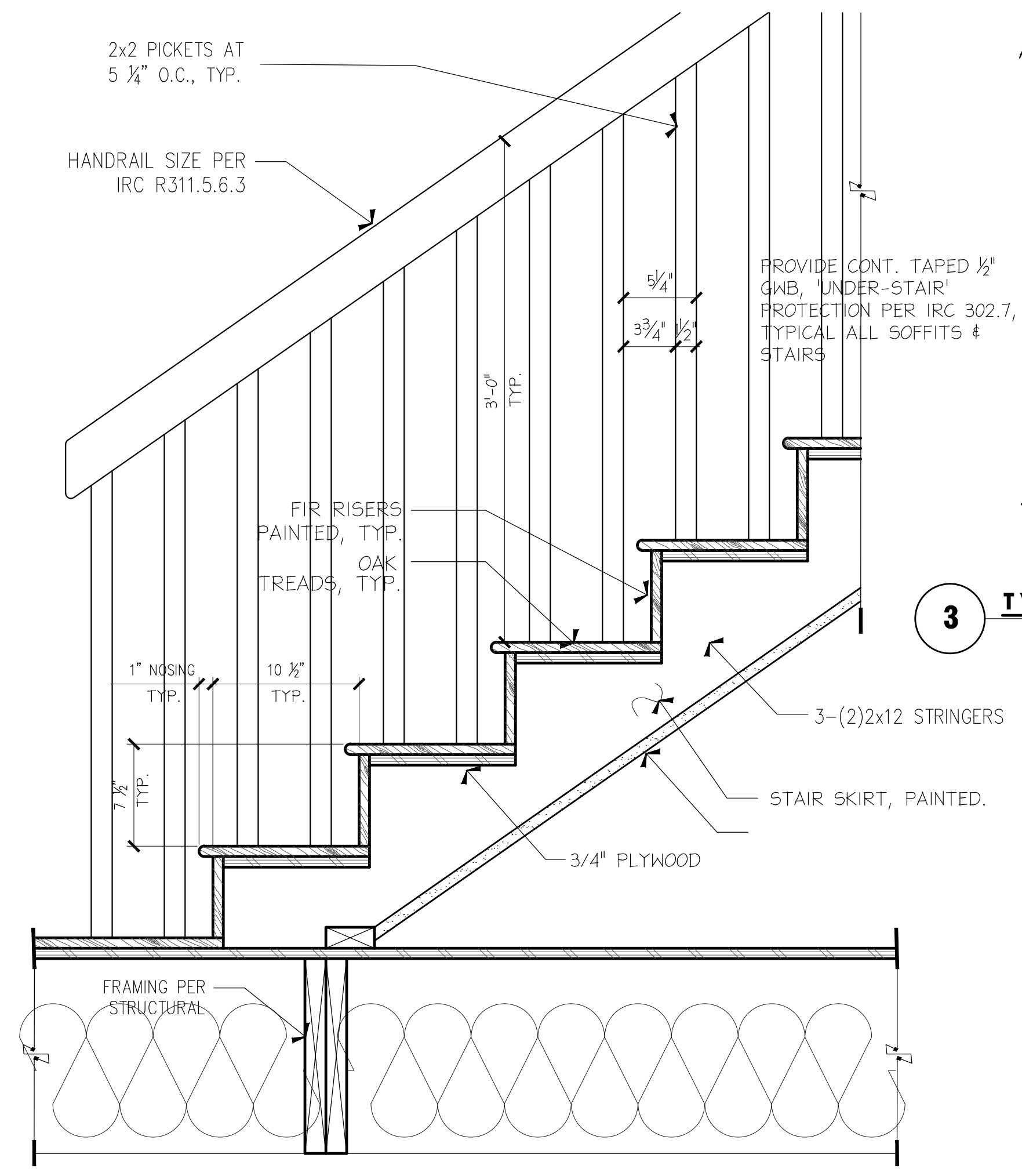
PROJECT #	21030
DATE	MAY 3, 2022
DRAWN BY	N.F.W.
REVISIONS	
TITLE	DRIVING DESIGN

SHEET NO.:

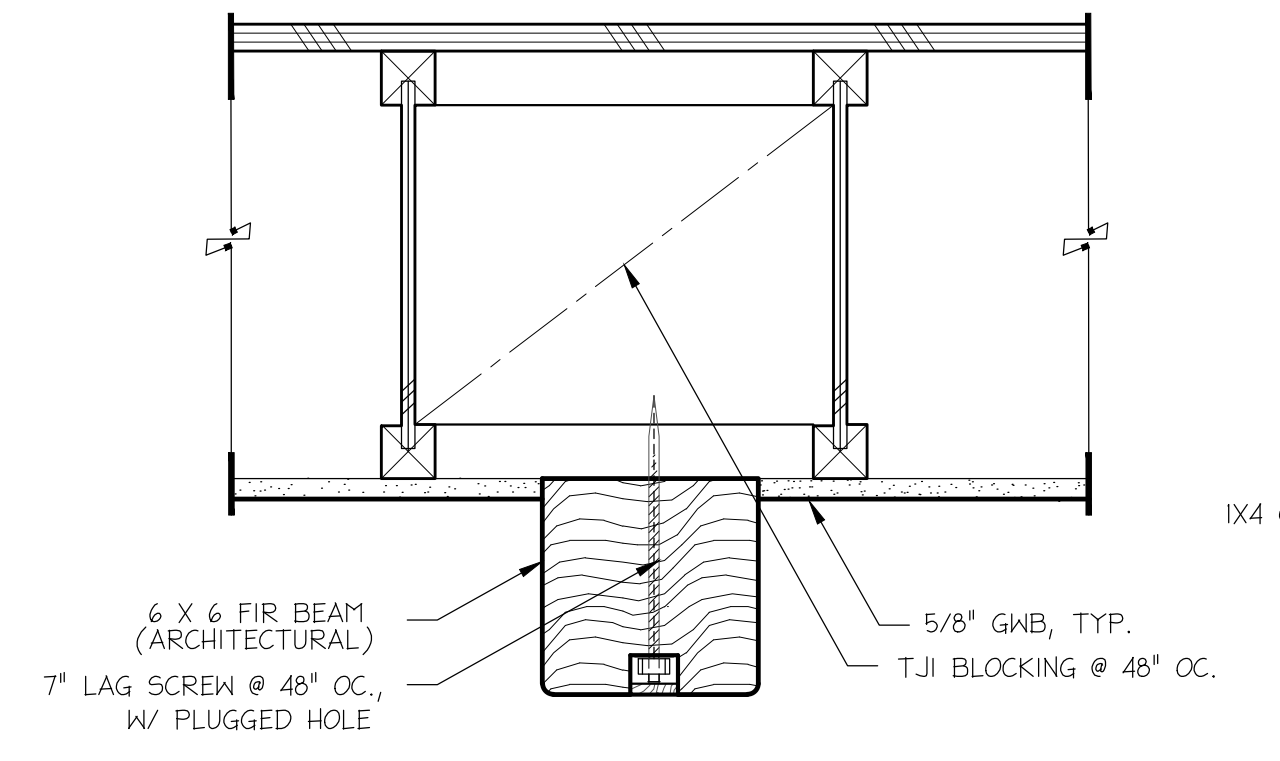
A4.1



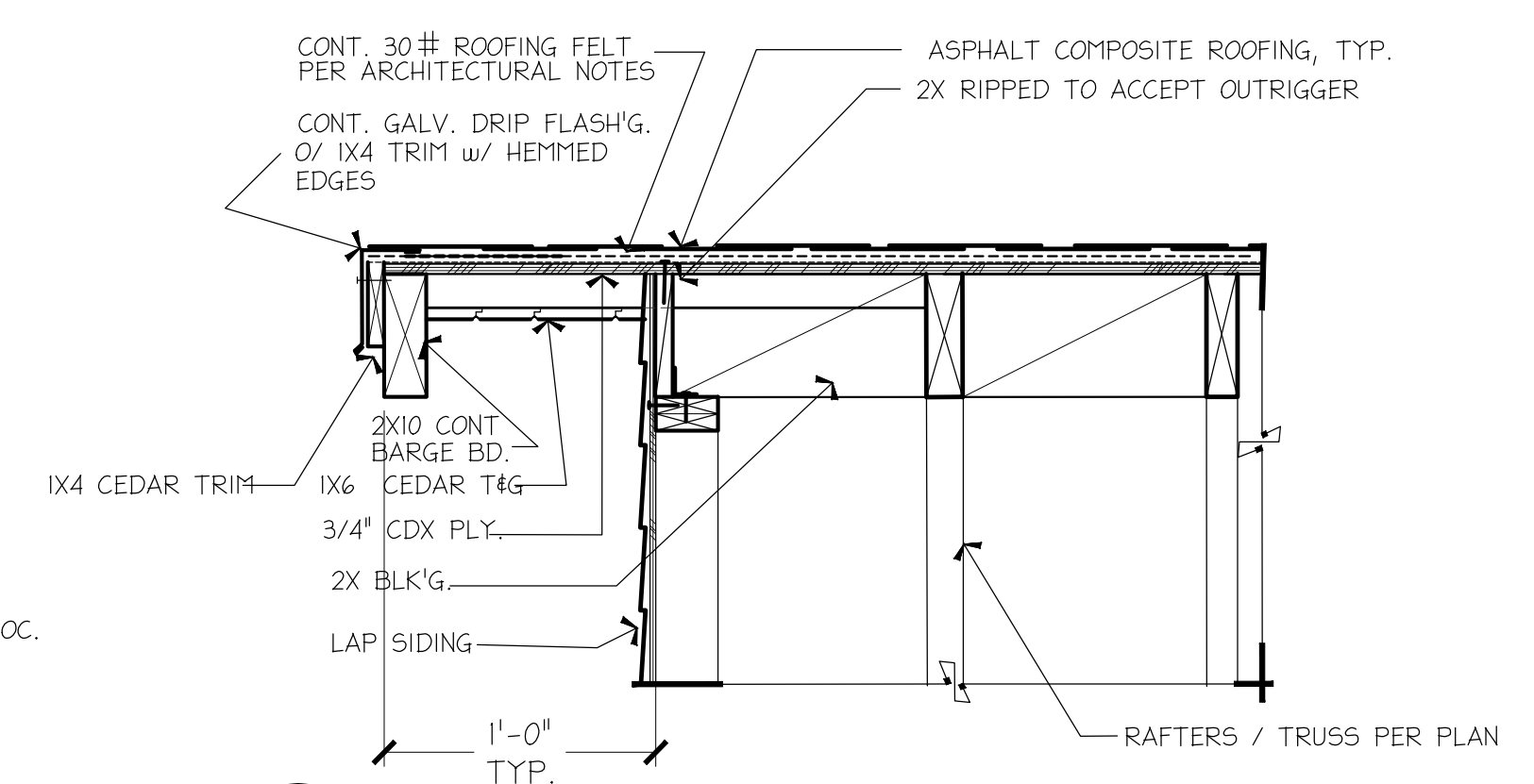
10 ROOF OVER-HANG DETAIL SCALE 1/2"=1'-0"



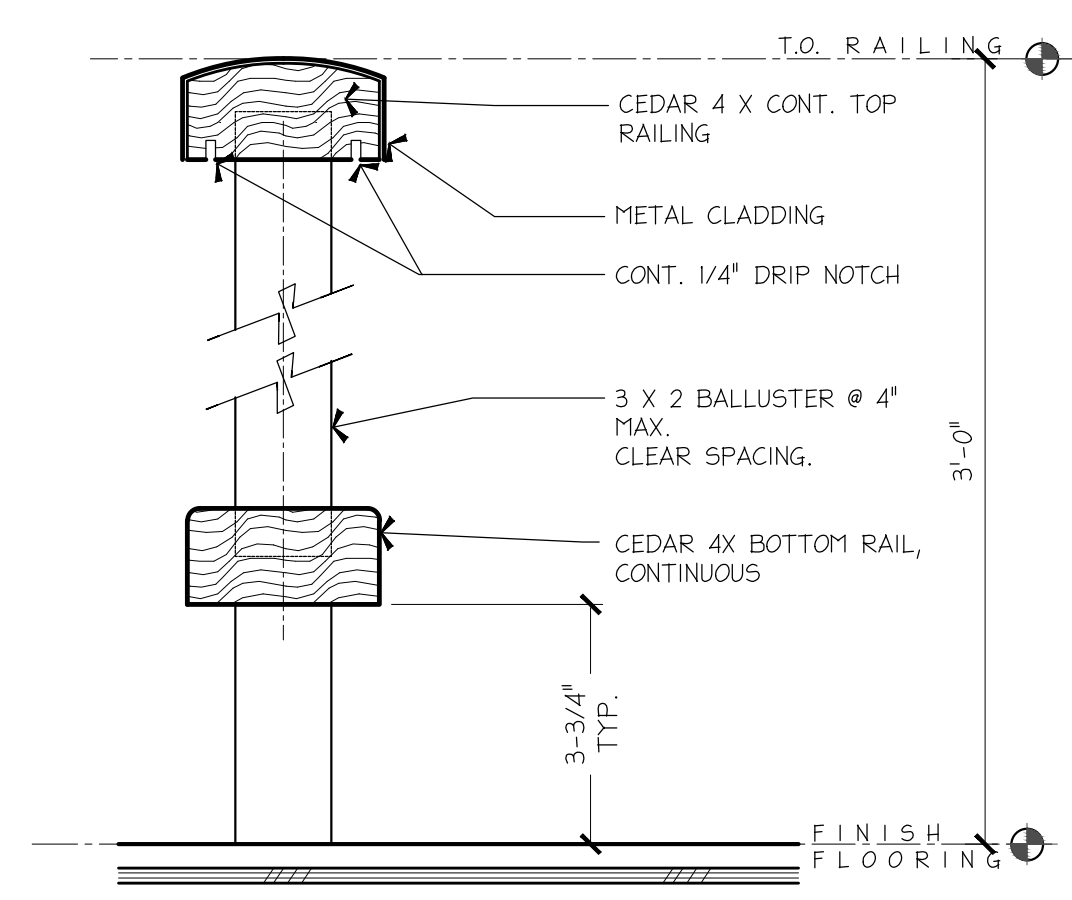
5 STAIR FRAMING DETAIL SCALE 1/2"=1'-0"



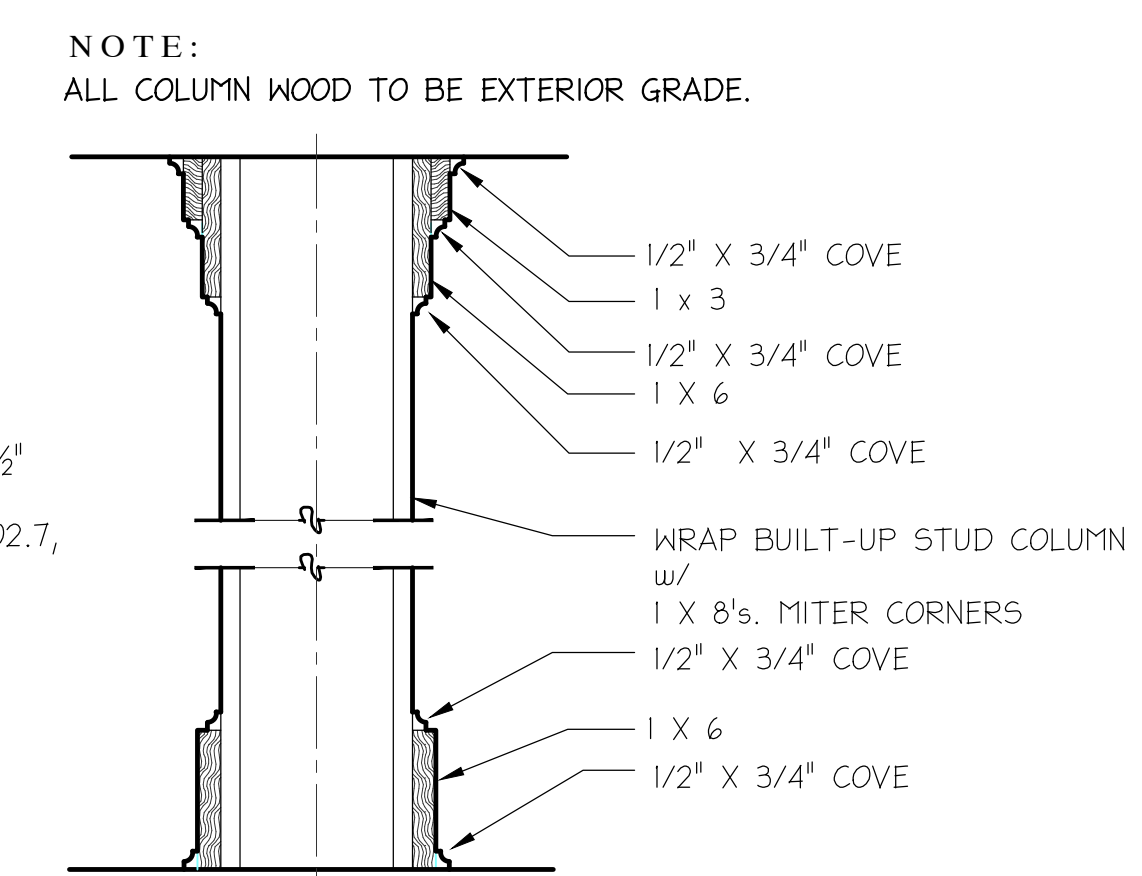
8 TYPICAL BOX COLUMN TRIM SCALE 3/4"=1'-0"



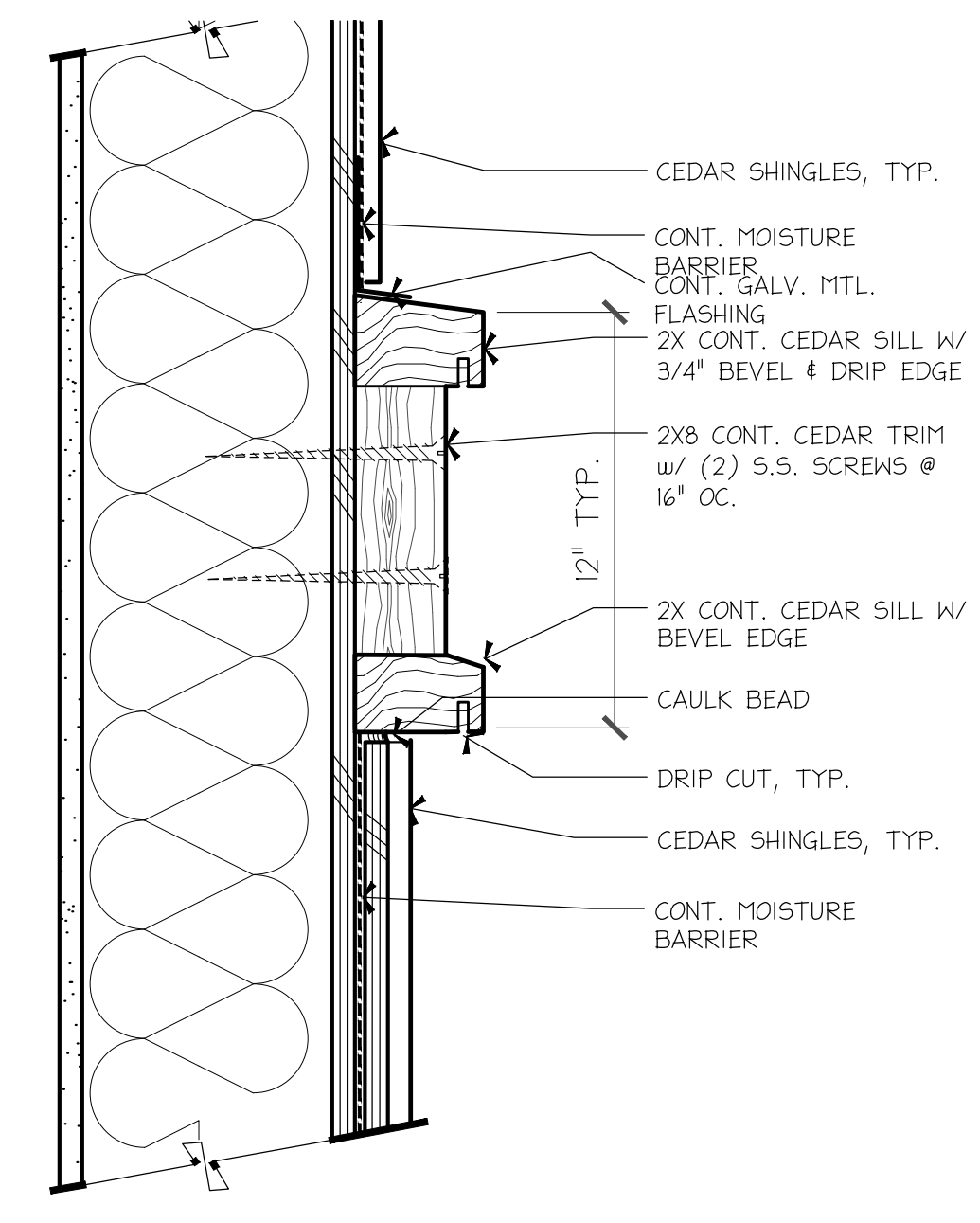
6 TYPICAL RAKE DETAIL SCALE 3/4"=1'-0"



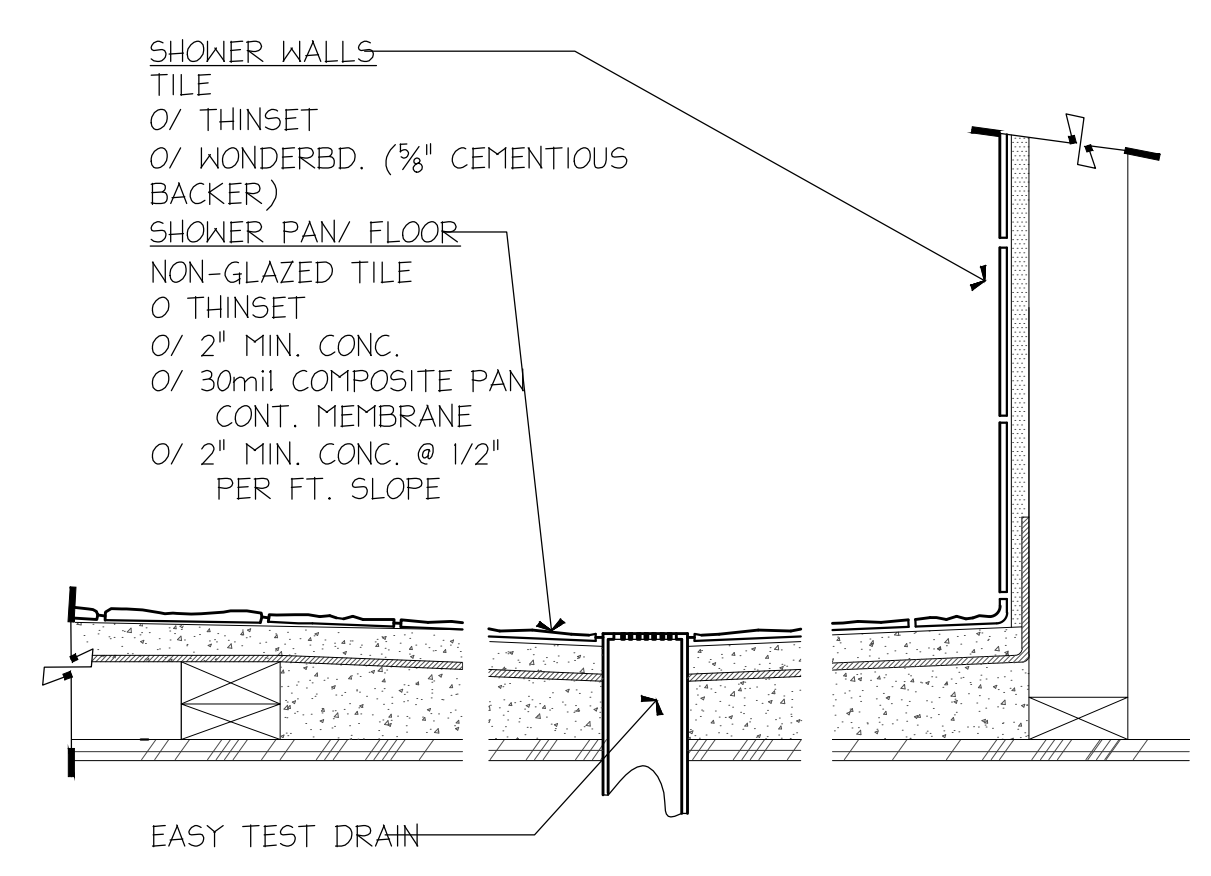
7 TYPICAL RAILING DETAIL SCALE 3/4"=1'-0"



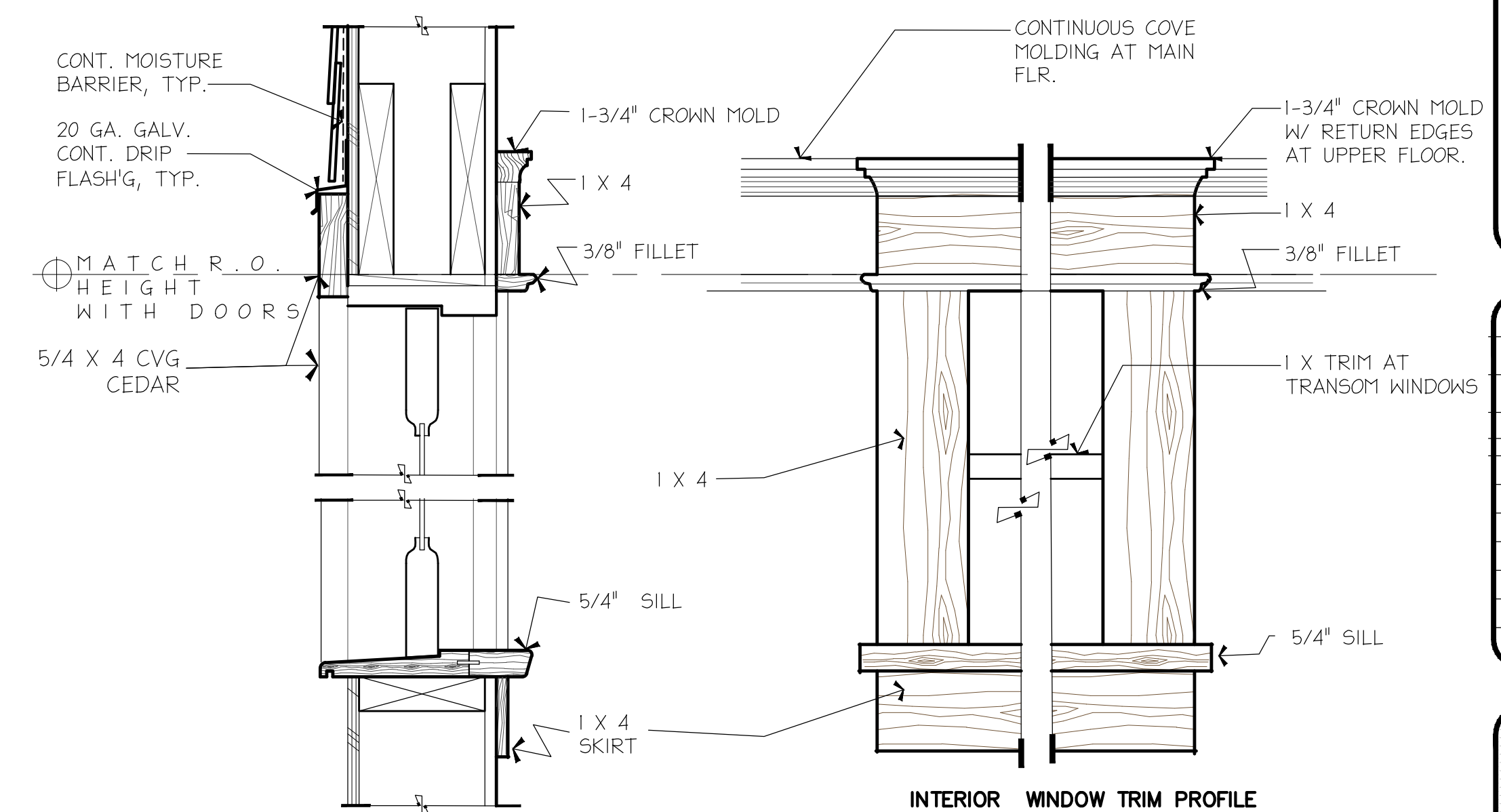
3 TYPICAL BOX COLUMN TRIM SCALE 1/2"=1'-0"



1 TYPICAL TRIM BAND DETAIL SCALE 3/4"=1'-0"



2 TYPICAL SHOWER PAN SCALE 1"=1'-0"



4 TYPICAL WINDOW TRIM DETAIL SCALE 1/2"=1'-0"

RFA ARCHITECTS
RICHARD A FISHER ARCHITECTS
8245 Northrup Pl. S.W.
SEATTLE, WA 98136
(206) 484-9963
EMAIL: RAFISHER@RICHARDAFISHER.COM
WEB: RICHARDAFISHER.COM
WOLF CREEK RANCH
INTHROP, ASHINGTON, B8
TEL: 0000000000

PROJECT NAME: PROJECT ADDRESS:
R K K Construction
3633 90th AVE. SE.
Mercer Is., WA 98040

SET TITLE:	PERMIT SET
SHEET TITLE:	ARCHITECTURAL DETAILS

STAMP:
4884
RICHARD A. FISHER
STATE OF WASHINGTON

PROJECT NO:	21030
DATE:	MAY 3, 2022
DRAWN BY:	N.F.W.
REVISIONS:	
TITLE:	

SHEET NO. **A6.0**

ALLACE PRELIMINAR SHORT PLAT
MERCER ISLAND SHORT PLAT NO. SUB18-008

DECLARATION

WE THE UNDERSIGNED OWNER(S) IN FEE SIMPLE [AND CONTRACT PURCHASER(S)] OF THE LAND HEREIN DESCRIBED, DO HEREBY MAKE A SHORT SUBDIVISION THEREOF PURSUANT TO RCW 58.17.060 AND DECLARE THIS SHORT SUBDIVISION TO BE THE GRAPHIC REPRESENTATION OF THE SAME, AND THAT SAID SHORT SUBDIVISION IS MADE WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRE OF THE OWNER(S).

IN WITNESS WHEREOF WE HAVE SET OUR HANDS AND SEALS.

BY: _____
MARLENE A. WALLACE

ACKNOWLEDGEMENTS

STATE OF WASHINGTON }
 } SS.
COUNTY OF KING }

I CERTIFY THAT I KNOW OR HAVE SATISFACTORY EVIDENCE THAT MARLENE A. WALLACE IS THE PERSON WHO APPEARED BEFORE ME, AND SAID PERSON ACKNOWLEDGED THAT SHE SIGNED THIS INSTRUMENT, ON OATH STATED THAT SHE ACKNOWLEDGED IT TO BE HER FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES MENTIONED IN THE INSTRUMENT.

GIVEN UNDER MY HAND AND OFFICIAL SEAL THIS _____ DAY OF _____, 20__.

NOTARY PUBLIC IN AND FOR THE STATE OF WASHINGTON

PRINTED NAME _____
MY COMMISSION EXPIRES _____

CITY OF MERCER ISLAND APPROVALS

EXAMINED AND APPROVED THIS _____ DAY OF _____, 20__.

CODE OFFICIAL

EXAMINED AND APPROVED THIS _____ DAY OF _____, 20__.

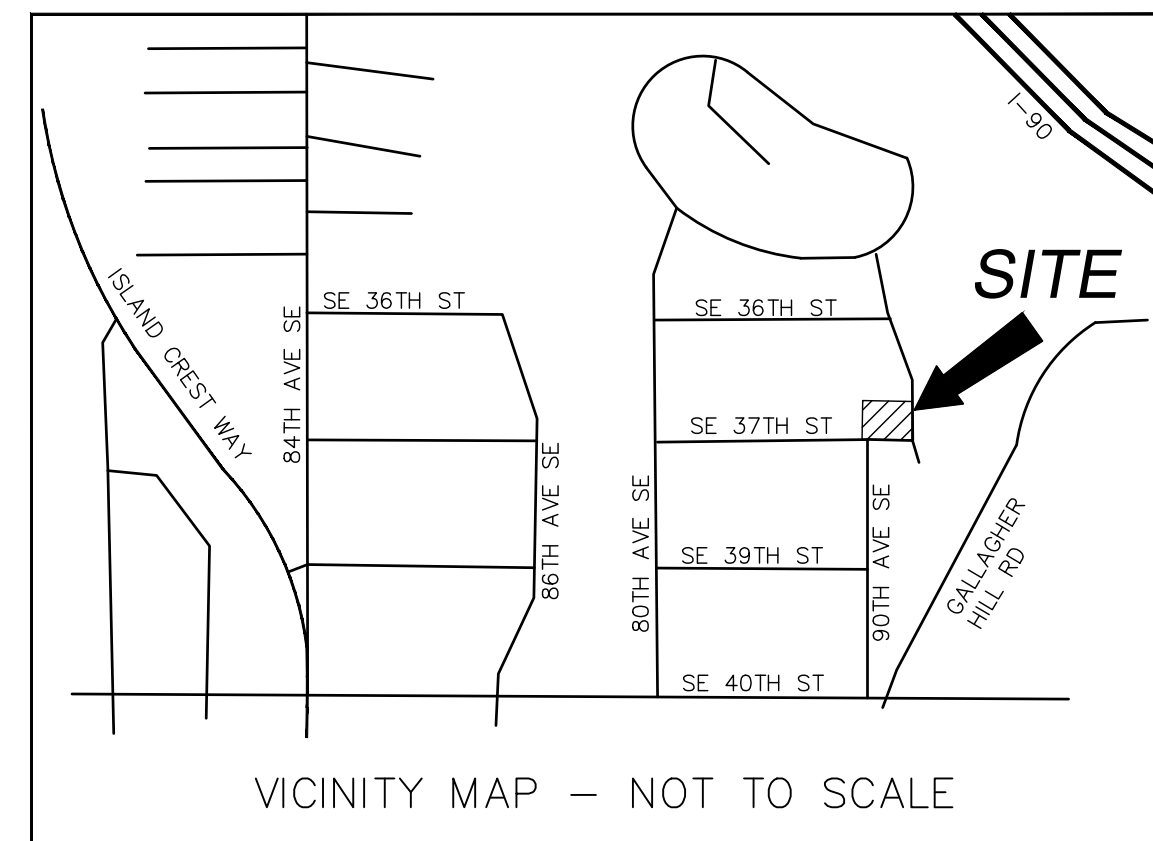
CITY ENGINEER

KING COUNTY DEPARTMENT OF ASSESSMENTS

EXAMINED AND APPROVED THIS _____ DAY OF _____, 20__.

ASSESSOR DEPUTY ASSESSOR

TAX PARCEL NO. 5021900400



BASIS OF BEARINGS

NAD 83(91) WASHINGTON NORTH STATE PLANE COORDINATES PER GPS OBSERVATIONS.

SURVEY NOTES

1. THE SURVEY SHOWN HEREON WAS PERFORMED IN JANUARY OF 2017. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST.
2. ALL TITLE INFORMATION SHOWN ON THIS MAP HAS BEEN EXTRACTED FROM CHICAGO TITLE INSURANCE COMPANY'S "SUBDIVISION GUARANTEE", ORDER NO. 0113565-ETU, DATED NOVEMBER 29, 2018 IN PREPARING THIS MAP, TERRANE, INC. HAS CONDUCTED NO INDEPENDENT TITLE SEARCH NOR IS TERRANE, INC. AWARE OF ANY TITLE ISSUES AFFECTING THE SURVEYED PROPERTY OTHER THAN THOSE SHOWN ON THE MAP AND DISCLOSED BY THE REFERENCED "SUBDIVISION GUARANTEE." TERRANE, INC. HAS RELIED WHOLLY ON CHICAGO TITLE INSURANCE COMPANY'S REPRESENTATIONS OF THE TITLE'S CONDITION TO PREPARE THIS SURVEY AND TERRANE, INC. QUALIFIES THE MAP'S ACCURACY AND COMPLETENESS TO THAT EXTENT.
3. INSTRUMENTATION FOR THIS SURVEY WAS A TRIMBLE ELECTRONIC DISTANCE MEASURING UNIT. PROCEDURES USED IN THIS SURVEY WERE DIRECT AND REVERSE ANGLES, NO CORRECTION NECESSARY. MEETS STATE STANDARDS SET BY WAC 332-130-090.

Terrane
10801 Main Street, Suite 102, Bellevue, WA 98004
phone 425.458.4488 support@terrane.net
www.terrane.net



CITY OF MERCER ISLAND SUB18-008
SE 1/4, SW 1/4, SEC. 07, T. 24N., R. 05E., W.M.
WALLACE PRELIMINARY SHORT PLAT
PARCEL NO. 5021900400
MERCER ISLAND, 3633 90TH AVE SE WA

RECORDER'S CERTIFICATE

FILED FOR RECORD THIS _____ DAY OF _____, 20__ AT _____ M.
IN BOOK _____ OF SURVEYS. AT PAGE _____, AT THE REQUEST
OF TERRANE, INC.

MANAGER SUPT. OF RECORDS

SURVEYOR'S CERTIFICATE

THIS LOT LINE REVISION CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE APPROPRIATE STATE AND COUNTY STATUTE AND ORDINANCE AT THE REQUEST OF RKK CONSTRUCTION IN AUGUST OF 2018.

SEAN A. ROULETTE-MILLER, CERTIFICATE NO. 81500 DATE

REFERENCES

1. RECORD OF SURVEY, BOOK 245, PAGE 175, RECORDS OF KING COUNTY, WASHINGTON.
2. RECORD OF SURVEY, BOOK 270, PAGE 043, RECORDS OF KING COUNTY, WASHINGTON.
3. RECORD OF SURVEY, BOOK 199, PAGE 255, RECORDS OF KING COUNTY, WASHINGTON.
4. LOT LINE REVISION NO. SUB17-017, RECORDING NO. 2018080690003, RECORDS OF KING COUNTY, WASHINGTON.

JOB NO.: 161347

DATE: 11/5/20

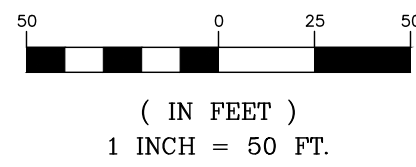
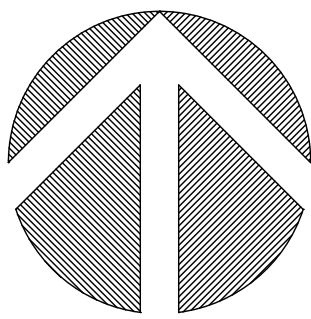
DRAFTED BY: TLR

CHECKED BY: SRM

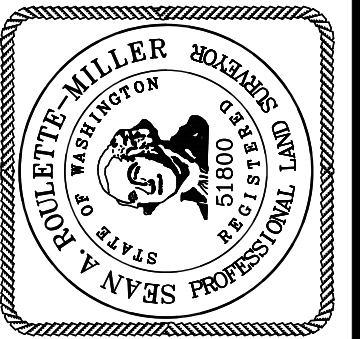
SCALE: 1" = N.T.S.

MERCER ISLAND
SHORT PLAT NO. SUB18-008

CONTROL MAP

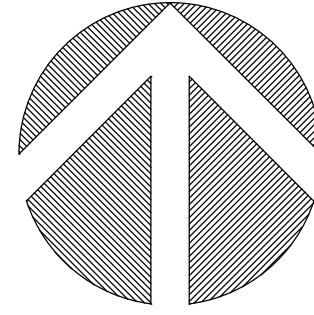


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CITY OF MERCER ISLAND SUB18-008
SE 1/4, SW 1/4, SEC. 07, T. 24N., R. 05E., W.M.
WALLACE PRELIMINARY SHORT PLAT
PARCEL NO. 5021900400
MERCER ISLAND, 3633 90TH AVE SE WA

JOB NO.: 161347
DATE: 11/5/20
DRAFTED BY: TLR
CHECKED BY: SRM
SCALE: 1" = 50'

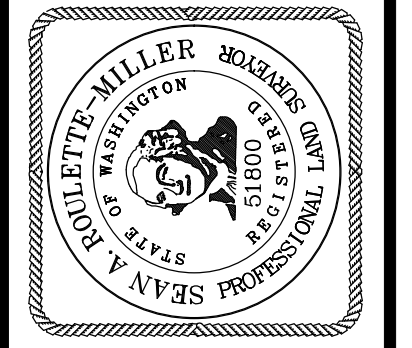


(IN FEET)
1 INCH = 20 FT.

LEGAL DESCRIPTIONS

PARCEL B, CITY OF MERCER ISLAND LOT LINE REVISION NO. SUB17-017, RECORDED UNDER RECORDING NO. 20180806900003, RECORDS OF KING COUNTY, WASHINGTON.

(LOT 14 AND THE EASTERLY 45 FEET OF THE SOUTH 110 FEET OF LOT 15, BLOCK 3, MADRONA CREST ADDITION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 42 OF PLATS, PAGE 12, IN KING COUNTY, WASHINGTON; TOGETHER WITH THAT PORTION OF LOTS 13 AND 15 IN SAID BLOCK 3, DESCRIBED AS FOLLOWS:
BEGINNING AT THE SOUTHEAST CORNER OF SAID LOT 13; THENCE NORTH 88°43'22" WEST, ALONG THE SOUTH LINE OF SAID LOT 13, AND ALONG SAID SOUTH LINE EXTENDED WEST, A DISTANCE OF 146.83 FEET; THENCE NORTH 01°12'58" EAST 4.71 FEET; THENCE SOUTH 88°47'12" EAST 146.83 FEET, TO A POINT ON THE EAST LINE OF SAID LOT 13; THENCE SOUTH 01°12'48" WEST, ALONG THE EAST LINE OF SAID LOT 13, A DISTANCE OF 4.87 FEET, TO THE POINT OF BEGINNING.)



CITY OF MERCER ISLAND SUB18-008
SE 1/4, SW 1/4, SEC. 07, T. 24N., R. 05E., W.M.
WALLACE PRELIMINARY SHORT PLAT
PARCEL NO. 5021900400
MERCER ISLAND, 3633 90TH AVE SE WA

JOB NO.: 161347

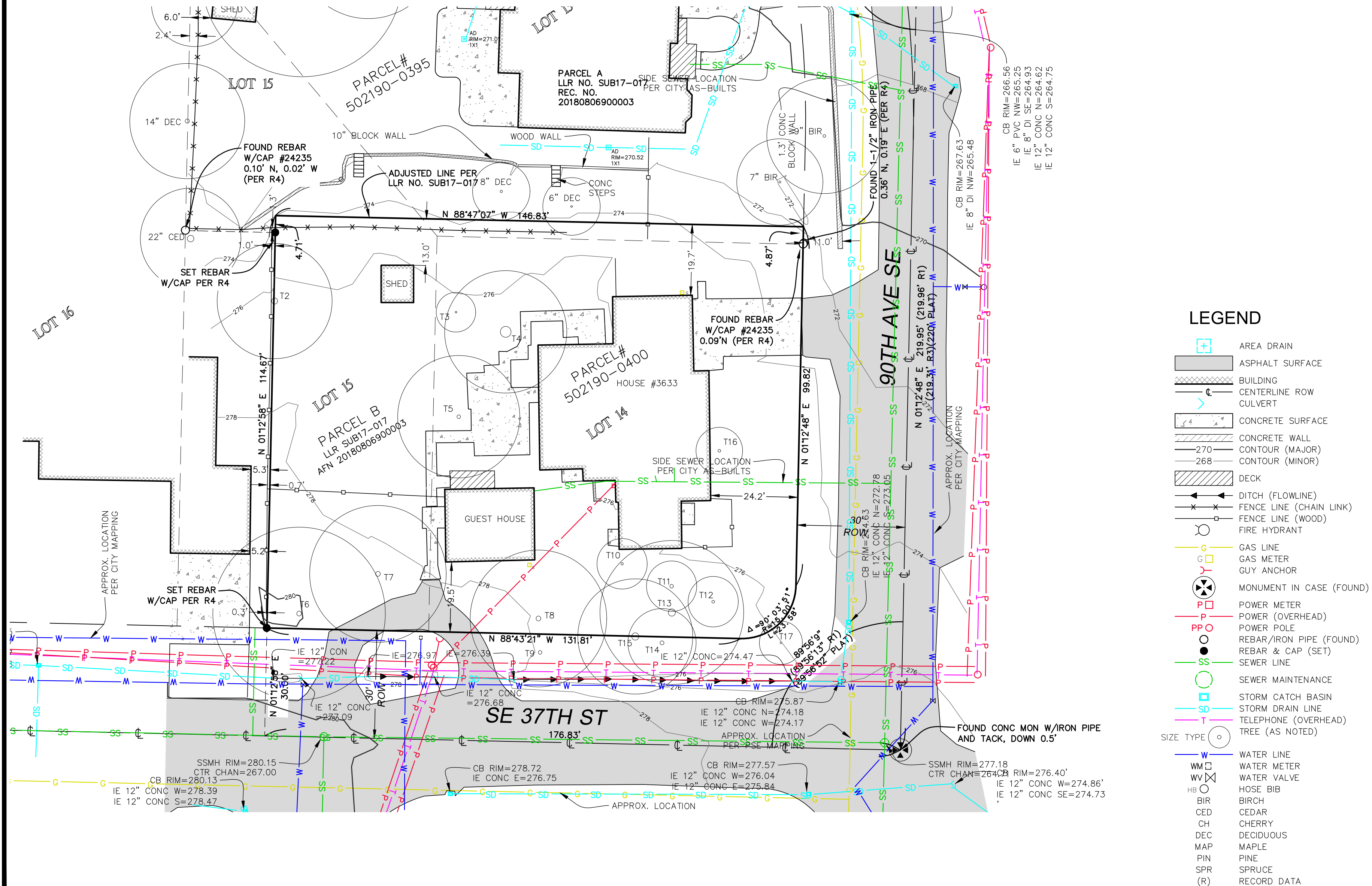
DATE: 11/5/20

DRAFTED BY: TLR

CHECKED BY: SRM

SCALE: 1" = 20'

3 OF 5



LEGEND

- AREA DRAIN
- ASPHALT SURFACE
- BUILDING
- CENTERLINE ROW
- CULVERT
- CONCRETE SURFACE
- CONCRETE WALL
- 270 CONTOUR (MAJOR)
- 268 CONTOUR (MINOR)
- DECK
- DITCH (FLOWLINE)
- FENCE LINE (CHAIN LINK)
- FENCE LINE (WOOD)
- FIRE HYDRANT
- GAS LINE
- GAS METER
- GUY ANCHOR
- MONUMENT IN CASE (FOUND)
- POWER METER
- POWER (OVERHEAD)
- POWER POLE
- REBAR/Iron PIPE (FOUND)
- REBAR & CAP (SET)
- SEWER LINE
- SEWER MAINTENANCE
- STORM CATCH BASIN
- STORM DRAIN LINE
- TELEPHONE (OVERHEAD)
- TREE (AS NOTED)
- WATER LINE
- WATER METER
- WATER VALVE
- HOSE BIB
- BIRCH
- CEDAR
- CHERRY
- DECIDUOUS
- MAPLE
- PINE
- SPRUCE
- (R) RECORD DATA

MERCER ISLAND
SHORT PLAT NO. SUB18-008

SITE PLAN

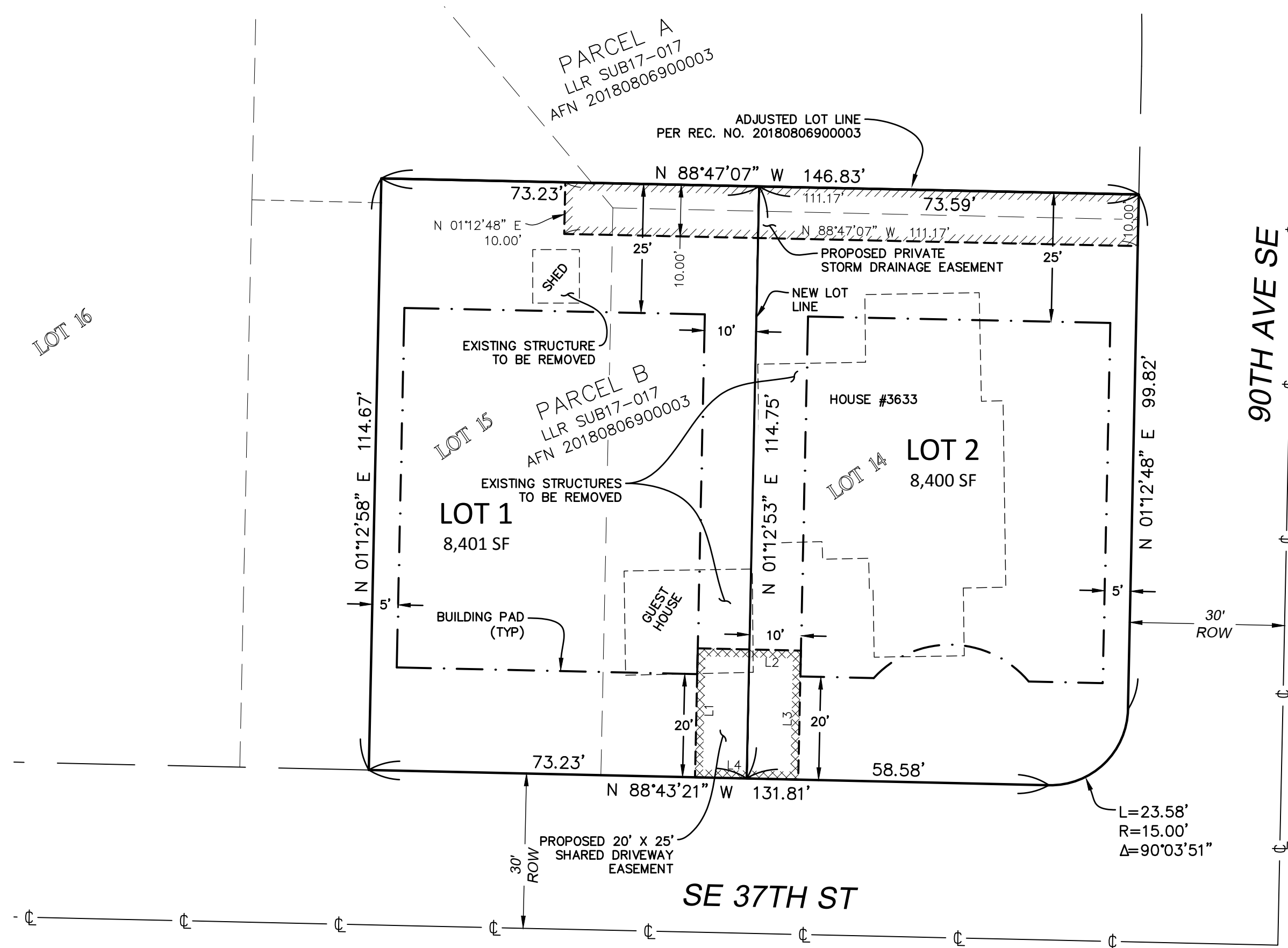
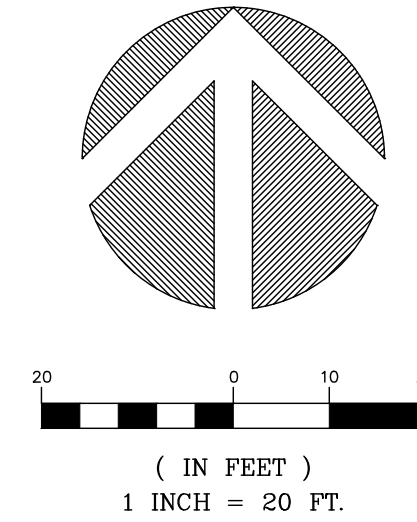
NEW LEGAL DESCRIPTIONS

LOT 1
THAT PORTION OF PARCEL B, CITY OF MERCER ISLAND LOT LINE REVISION NO. SUB17-017, RECORDED UNDER RECORDING NO. 20180806900003, RECORDS OF KING COUNTY, WASHINGTON, LYING WESTERLY OF THE FOLLOWING DESCRIBED LINE:
COMMENCING AT THE NORTHEAST CORNER OF SAID PARCEL B;
THENCE NORTH 88°47'07" WEST, ALONG THE NORTH LINE OF SAID PARCEL B, A DISTANCE OF 73.59 FEET, TO THE POINT OF BEGINNING;
THENCE SOUTH 01°12'53" WEST, A DISTANCE OF 114.75 FEET TO A POINT ON THE SOUTH LINE OF SAID PARCEL B AND THE TERMINUS OF SAID LINE.

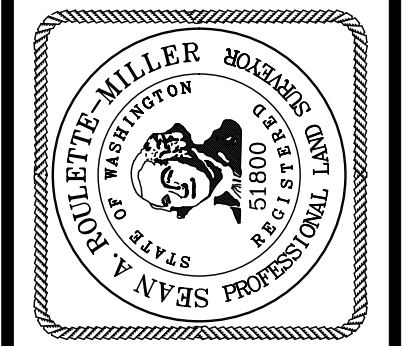
LOT 2
THAT PORTION OF PARCEL B, CITY OF MERCER ISLAND LOT LINE REVISION NO. SUB17-017, RECORDED UNDER RECORDING NO. 20180806900003, RECORDS OF KING COUNTY, WASHINGTON, LYING EASTERLY OF THE FOLLOWING DESCRIBED LINE:
COMMENCING AT THE NORTHEAST CORNER OF SAID PARCEL B;
THENCE NORTH 88°47'07" WEST, ALONG THE NORTH LINE OF SAID PARCEL B, A DISTANCE OF 73.59 FEET, TO THE POINT OF BEGINNING;
THENCE SOUTH 01°12'53" WEST, A DISTANCE OF 114.75 FEET TO A POINT ON THE SOUTH LINE OF SAID PARCEL B AND THE TERMINUS OF SAID LINE.

DRIVEWAY EASEMENT LINE TABLE

L1	N 01°12'35" E	25.00'
L2	N 88°47'07" W	20.00'
L3	N 01°12'35" E	25.00'
L4	N 88°47'07" W	20.00'



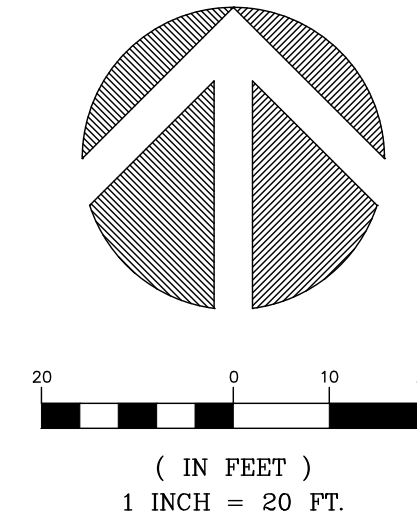
Terrane
10801 Main Street, Suite 102, Bellevue, WA 98004
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CITY OF MERCER ISLAND SUB18-008
SE 1/4, SW 1/4, SEC. 07, T. 24N., R. 05E., W.M.
WALLACE PRELIMINARY SHORT PLAT
PARCEL NO. 5021900400
MERCER ISLAND, 3633 90TH AVE SE WA

JOB NO.:	161347
DATE:	11/5/20
DRAFTED BY:	TLR
CHECKED BY:	SRM
SCALE:	1" = 20'
4 OF 5	

TREE RETENTION PLAN



TREE INVENTORY
PER ARBORIST REPORT BY SUPERIOR NW ENTERPRISES
DATED JUNE 1, 2020

ID#	DIA	TYPE	RETAINED
T1	N/A	OFFSITE	N/A
T2	22"	DOGWOOD	
T3	8"	WEeping CHERRY	
T4	27"	SIBERIAN ELM	
T5	14"	JAPANESE VINE MAPLE	
T6	12"+13"+16"	BIG LEAF MAPLE	
T7	15"+17.5"+18"	BIG LEAF MAPLE	
T8	16"	APPLE	
T9	N/A	STUMP	
T10	16"	FRUITING PEAR	
T11	10"	COLORADO BLUE SPRUCE	
T12	9"	SCOTT'S PINE	X
T13	24"	DOUGLAS FIR	X
T14	13"	WHITE SPRUCE	X
T15	11"+16"	WHITE SPRUCE	X
T16	12"	WEeping BEECH	
T17	6"	JAPANESE VINE MAPLE	X

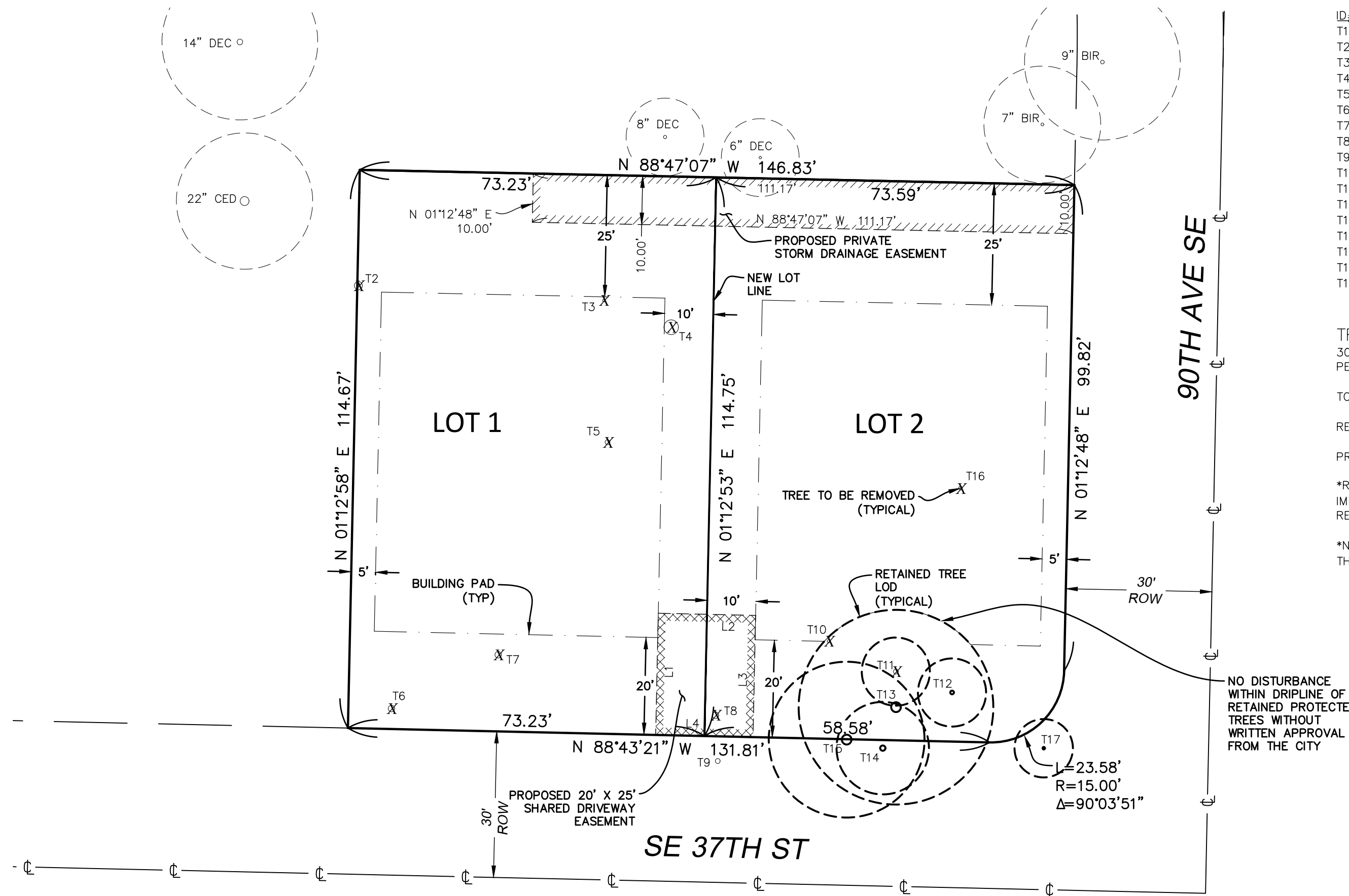
TREE RETENTION

30% TREE RETENTION REQUIRED
PER MCC 19.10.060

TOTAL TREES (>10")	12
REQUIRED RETENTION	3.6 (30%)
PROPOSED RETENTION	5 (42%)

*REMOVAL OF TREES INDICATED ON THIS PLAN WILL BE REQUIRED DUE TO IMPACTS FROM DEMO OF EXISTING STRUCTURES/IMPROVEMENTS AND/OR RECOMMENDATIONS FROM THE CONSULTING ARBORIST.

*NOTE: LIMIT OF DISTURBANCE (LOD) FOR RETAINED TREES IS SHOWN PER THE ARBORIST REPORT PREPARED BY BRUCE MAC COY, DATED 11/5/20.



NO DISTURBANCE WITHIN DRIPLINE OF RETAINED PROTECTED TREES WITHOUT WRITTEN APPROVAL FROM THE CITY



CITY OF MERCER ISLAND SUB18-008
SE 1/4, SW 1/4, SEC. 07, T. 24N., R. 05E., W.M.
WALLACE PRELIMINARY SHORT PLAT
PARCEL NO. 5021900400
MERCER ISLAND, 3633 90TH AVE SE WA

JOB NO.: 161347

DATE: 11/5/20

DRAFTED BY: TLR

CHECKED BY: SRM

SCALE: 1" = 20'

SANITARY SEWER IMPROVEMENTS

- ① -
- ② -6" SDR 35 PVC SANITARY SEWER(SS) @ MIN 1.0 %.
- ⑦ -CCTV INSPECTION VIDEO REQUIRED PRIOR TO FINAL PROJECT ACCEPTANCE. CONTRACTOR SHALL CORRECT ALL DEFICIENCIES FOUND DURING CCTV INSPECTION.

WATER IMPROVEMENTS

- ⑩ -3" x 1" WATER SERVICE & METER PIT PER DETAIL CK-W.18. PLACE WATER METER 1' BEHIND BACK OF CURB PER DETAIL CK-W.17.
- ⑪ -1.5" DIA WATER SERVICE, 250 PSI HDPE WATER (ASTM D2239) FROM METER TO HOUSE. RECOMMENDED DEPTH=36". COORDINATE HOUSE ENTRY WITH BUILDER/OWNER
- ⑭ -IF REQUIRED, REPLACE EXISTING WATER SERVICE. COORDINATE WITH INSPECTOR. EXISTING GALVANIZED, COPPER, OR "BLUE POLY" WATER SERVICES SHALL BE REPLACED WITH A 1-INCH DIAMETER POLY SERVICE. THE EXISTING SERVICE SHALL BE ABANDONED AT THE WATER MAIN.

STORM DRAIN KEY NOTES

- ⑳ -4" STORM DRAIN (ASTM 3034 PVC) @ MIN 2 % GRADE
- ㉑ -4" FOUNDATION DRAIN @ MIN 1.0 % GRADE
- ㉒ -
- ㉓ -
- ㉔ -12" STORM DRAIN @ MIN 1 % GRADE
- ㉕ -

STORM STRUCTURE KEY NOTES

- ③① -
- ③② -
- ③③ -TYPE 1 CB (WATER QUALITY) WITH STANDARD GRATE TOP. INSTALL INTERNAL TURNED-DOWN ELBOW OR EQUAL FOR OIL/WATER SEP.
- ③④ -
- ③⑤ -
- ③⑥ -6" WIDE NDC DURASLOPE TRENCH DRAIN KIT OR EQUAL USE GALVANIZED STEEL VEHICLE RATED GRATE.
- ③⑦ -
- ③⑧ -
- ③⑨ -
- ④① -
- ④② -
- ④③ -
- ④④ -
- ④⑤ -
- ④⑥ -

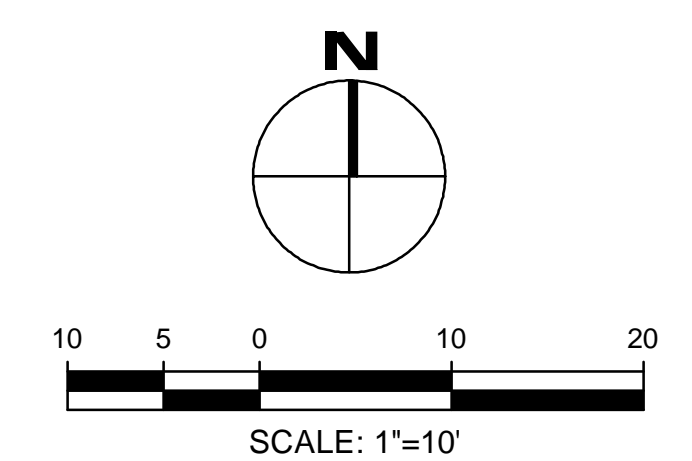
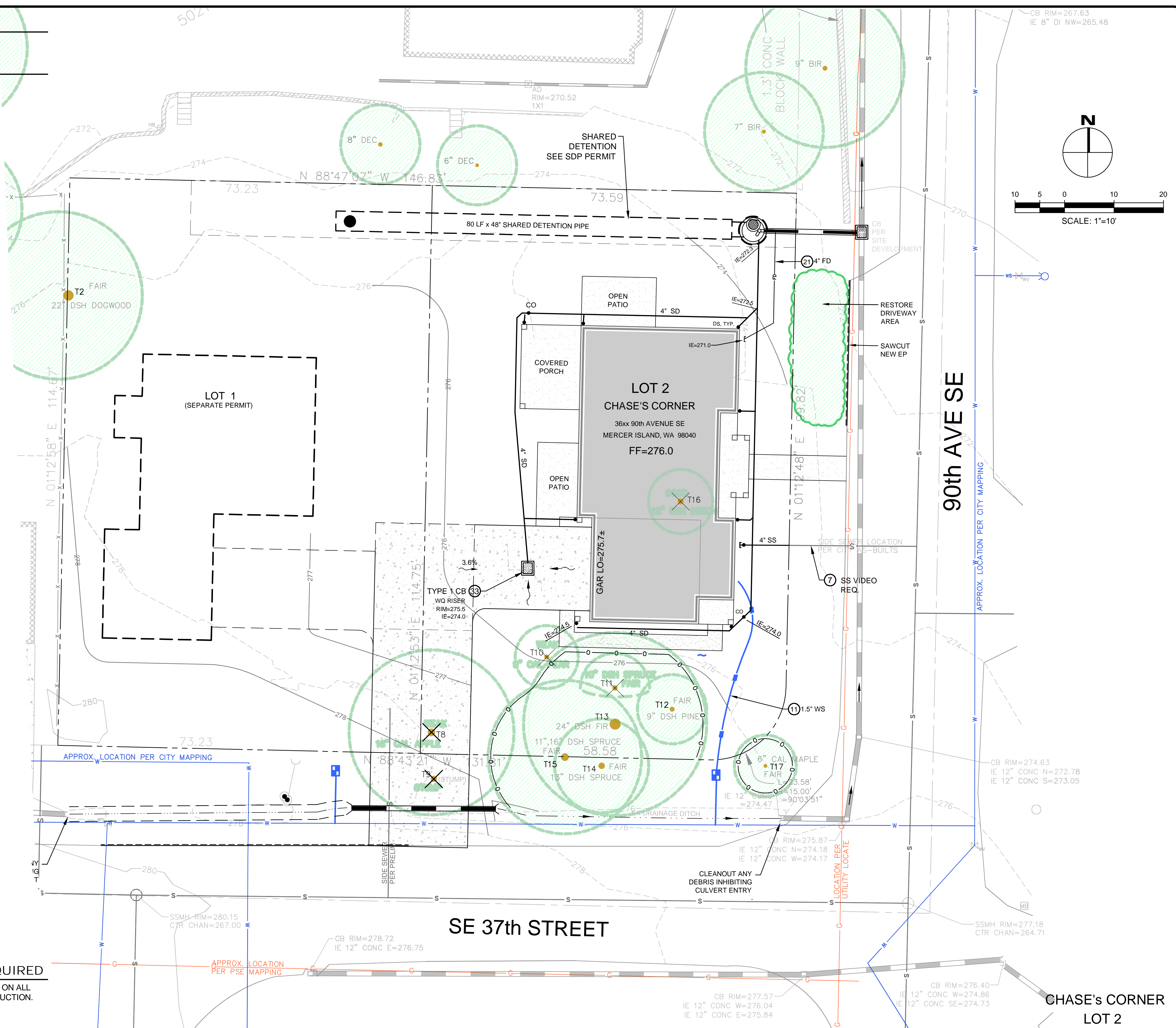
STORMWATER BMP KEY NOTES

- ⑤① -AMEND UPPER 8-INCHES OF SOIL WITH COMPOST PER CITY DETAIL CK-E.12 AND DOE BMP DETAIL TR-13. COORDINATE WITH LANDSCAPING CONTRACTOR.
- ⑤② -
- ⑤③ -
- ⑤④ -
- ⑤⑤ -
- ⑤⑥ -
- ⑤⑦ -
- ⑤⑧ -

VERTICAL DATUM
SEE SURVEY

EROSION CONTROL
SEE C1.0

SOIL AMENDMENT REQUIRED
COMPOST AMENDED SOIL REQUIRED ON ALL LANDSCAPED AREAS AFTER CONSTRUCTION. SEE DETAIL ON SHEET C3.5.

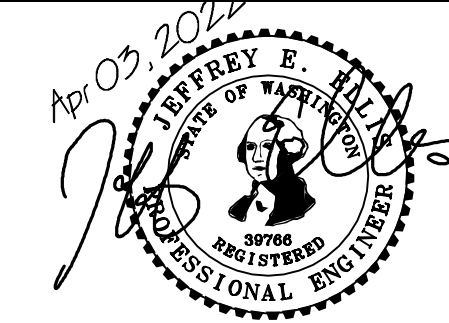


NO.	DATE	BY	REVISIONS

APPLICANT:
RKK CONSTRUCTION
3056 70th AVE SE
MERCER ISLAND, WA 98040
PHONE: 206-236-2920
FAX: 206-232-1287



DATE: Apr 03, 2022
JOB# 1779
DRAFTED: SS DESIGN: DE
DIGITAL SIGNATURE



CIVIL ENGINEERING SOLUTIONS
102 NW CANAL STREET SEATTLE, WA 98107
PHONE: 206.930.0342 DUFFY@CESOLUTIONS.US

LOT 2 DRAINAGE/CIVIL PLAN
CHASE'S CORNER PLAT
3633 90th AVE SE, MERCER ISLAND, WA 98040

DRAWING NO:
C2.0
APN 502190-0400
XXXX-XXX

MINIMUM 10% ORGANIC - COMPOST SOIL REQUIRED

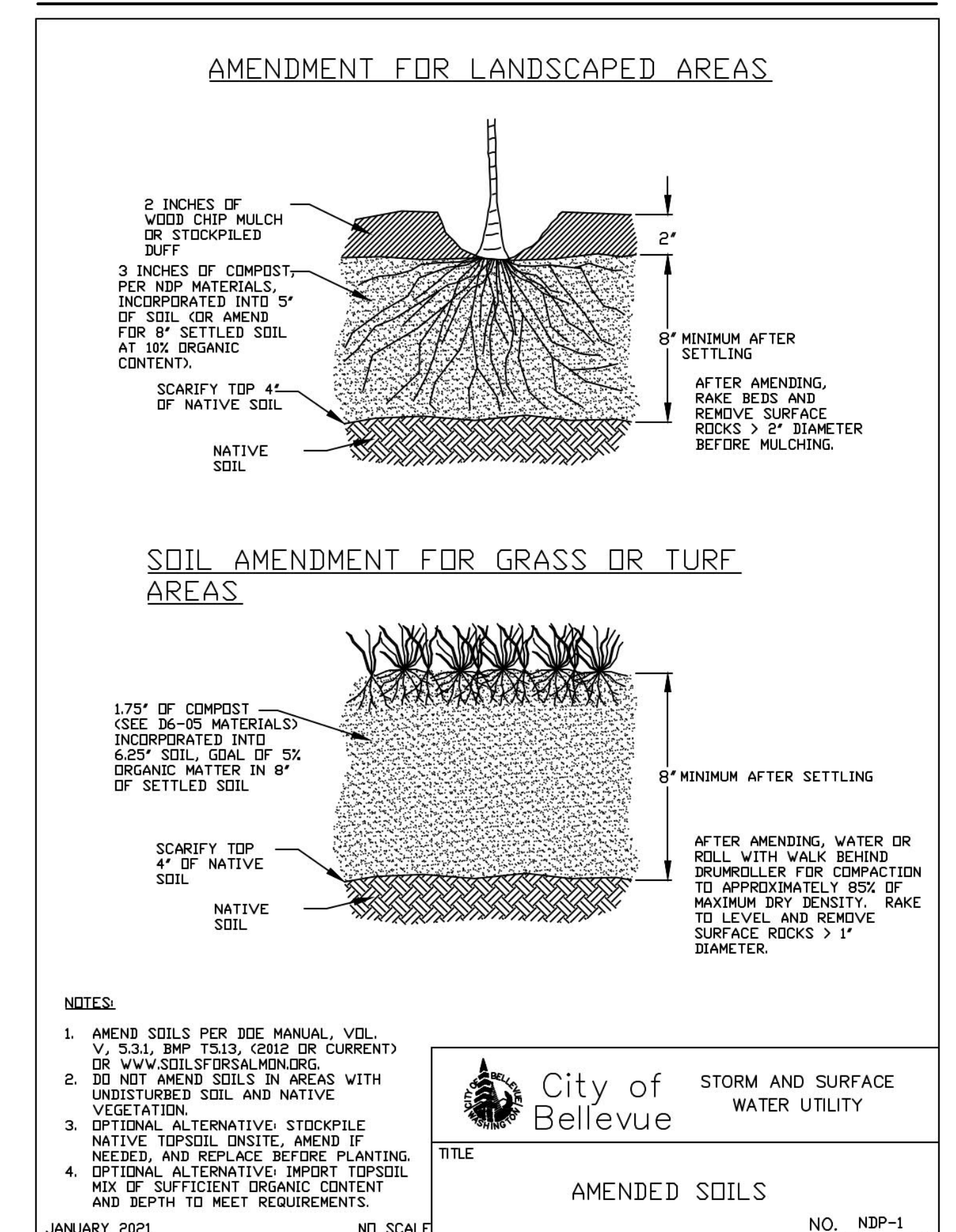
SOIL AMENDMENT REQUIRED

COMPOST AMENDED SOIL REQUIRED ON ALL LANDSCAPED AREAS AFTER CONSTRUCTION. SEE DETAIL BELOW.

SOIL INSPECTION REQUIRED BY ENGINEER

A POST CONSTRUCTION INSPECTION & CERTIFICATION OF AMENDED SOILS IS REQUIRED BY A LICENSED CIVIL ENGINEER. THIS IS REQUIRED BEFORE FINAL SIGN-OFF BY CITY.

COMPOST AMENDED SOIL SPEC



CHASE'S CORNER LOT 2

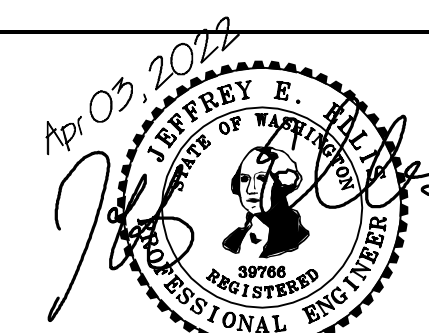
NO.	DATE	BY	REVISIONS

APPLICANT:
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3056 70th AVE SE
MERCER ISLAND, WA 98040
PHONE: 206-236-2920
FAX: 206-232-1287



\\Acad-References\111 Log\MSD\111\111.dwg

DATE: Apr 03, 2022
JOB# 1779
DRAFTED: SS DESIGN: SS
DIGITAL SIGNATURE



CIVIL ENGINEERING SOLUTIONS

102 NW CANAL STREET SEATTLE, WA 98107
PHONE: 206.930.0342 DUFFY@CESOLUTIONS.US

BMP DETAILS

CHASE'S CORNER PLAT
3633 90th AVE SE, MERCER ISLAND, WA 98040

DRAWING NO:

C3.5

APN 502190-0400
XXXX-XXX

BUILDING CODE: 2018 EDITION OF THE INTERNATIONAL BUILDING CODE (IBC), AND BY REFERENCE, THE 2018 INTERNATIONAL RESIDENTIAL CODE (IRC) AS AMENDED BY LOCAL JURISDICTION.
ROOF LIVE LOAD = 25 PSF SNOW (GROUND SNOW = 30 PSF)
ROOF DEAD LOAD = 15 PSF
FLOOR LIVE LOAD = 40 PSF (30 PSF AT SLEEPING AREAS)
FLOOR DEAD LOAD = 15 PSF
BALCONIES & DECKS = 60 PSF (LIVE LOAD) + 10 PSF (DEAD LOAD)
WIND SPEED (NOMINAL 3 SEC GUST) = 100 MPH FOR RISK CATEGORY II, EXPOSURE "B", K_t=1.03
SOIL SITE CLASS "D", SEISMIC CATEGORY D107, S_w=1404, S_{ds}=1123
OCCUPANCY GROUP: R-3 **CONSTRUCTION TYPE:** V-B

CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS OF PROJECT AND REPORT ANY OMISSIONS / DISCREPANCIES TO ARCHITECT AND/OR ENGINEER OF RECORD FOR RESOLUTION PRIOR TO COMMENCING WORK. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS. ARCHITECT AND/OR ENGINEER OF RECORD ARE NOT RESPONSIBLE FOR DISCREPANT CONDITIONS RESULTING FROM UNAUTHORIZED WORK PERFORMED BY THE CONTRACTOR.

DEFERRED SUBMITTAL ITEMS

THE FOLLOWING IS A LIST OF ITEMS THAT ARE NOT INCLUDED IN THIS PLAN AND SHOULD BE PROVIDED BY THE BUILDER AT TIME OF APPLICATION FOR PERMIT OR AS A DEFERRED SUBMITTAL ITEM:
 - ALTERNATIVE 1-JOIST/BEAM MANUFACTURER PLANS.
 - MANUFACTURED TRUSS DESIGNS AND LAYOUTS

GENERAL

FOUNDATION DESIGN IS BASED ON AN ALLOWABLE SOIL BEARING OF 1500 PSF. EXTERIOR FOOTINGS SHALL BEAR (MINIMUM) BELOW FINISHED GRADE. ALL FOOTINGS TO BEAR ON FIRM UNDISTURBED EARTH BELOW ORGANIC SOILS. BACKFILL TO BE THOROUGHLY COMPACTED.
 BOLT HEADS AND NUTS BEARING AGAINST WOOD TO BE PROVIDED WITH 0.229"x3"x3" PLATE WASHERS. WOOD BEARING ON OR INSTALLED WITHIN 1" OF MASONRY OR CONCRETE TO BE PRESSURE TREATED WITH AN APPROVED PRESERVATIVE.
 FOUNDATION SILL BOLTS (MIN. 1" EMBED.) TO BE 5/8" DIAMETER AT 6'-0" O.C. (4'-0" AT BUILDINGS OVER 2 STORIES) UNO. METAL FRAMING CONNECTORS TO BE MANUFACTURED BY SIMPSON STRONG-TIE OR USP STEEL CONNECTORS.

CONCRETE

MINIMUM COMPRESSIVE STRENGTH OF CONCRETE:

TYPE OR LOCATIONS OF CONCRETE CONSTRUCTION	MINIMUM COMPRESSIVE STRENGTH (f _c) AT 28 DAYS	MODERATE WEATHERING POTENTIAL
BASEMENT WALLS, FOUNDATION FOOTINGS, BASEMENT SLABS, & INTERIOR SLABS ON GRADE (EXCEPT GARAGE) NOT EXPOSED TO THE WEATHER	2500 psi	
BASEMENT WALLS, FOUNDATION WALLS, EXTERIOR WALLS, PORCHES, STEPS, GARAGE & CARPORT SLABS, & OTHER CONCRETE WORK EXPOSED TO THE WEATHER	3000 psi (6% air entrained +/- 1%)	

CONCRETE MIXTURE SHALL CONTAIN AT LEAST OF 5 1/2 SACKS OF CEMENT PER CUBIC YARD CONCRETE "BATCH TICKET" SHALL BE AVAILABLE ON SITE FOR REVIEW BY BUILDING OFFICIAL. VERTICAL REINFORCING STEEL TO COMPLY WITH ASTM A615 GRADE 40 (GRADE 60 AT WALLS RETAINING MORE THAN 4 FT OF SOIL)

CARPENTRY

GENERAL

ALL NAILING TO COMPLY WITH REQUIREMENTS OF IRC TABLE R602.3(1) AND/OR IBC TABLE 2304.10(1). ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED. FIELD CUT ENDS, NOTCHES, AND DRILLED HOLES OF PRESSURE TREATED LUMBER SHALL BE RETREATED IN THE FIELD IN ACCORDANCE WITH AWPA M4. PER IRC 310.3, FASTENERS FOR PRESSURE PRESERVATIVE AND FIRE RETARDANT TREATED WOOD SHALL BE OF HOT-DIPPED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE, OR COPPER.
 6" MIN. CLEARANCE BETWEEN WOOD AND EARTH.
 12" MIN. CLEARANCE BETWEEN FLOOR BEAMS AND EARTH.
 18" MIN. CLEARANCE BETWEEN FLOOR JOIST AND EARTH.

FASTENER DIMENSIONS

ALL NAILS SPECIFIED ON THIS PLAN SHALL BE OF THE DIAMETER AND LENGTH LISTED BELOW OR AS PER APPENDIX L OF THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS):
 8d COMMON (0.131" DIA, 2-1/2" LENGTH), 8d BOX (0.131" DIA, 2-1/2" LONG), 10d COMMON (0.148" DIA, 3" LONG), 10d BOX (0.128" DIA, 3" LONG), 16d COMMON (0.162" DIA, 3-1/2" LONG), 16d SINKER (0.148" DIA, 3-1/4" LONG), 5d COOLER (0.096" DIA, 1-9/16" LONG), 6d COOLER (0.092" DIA, 1-7/8" LONG)

LUMBER GRADES

FRAMING LUMBER SHALL COMPLY WITH THE LATEST EDITION OF THE GRADING RULES OF THE WESTERN PRODUCTS ASSOCIATION OR THE WEST COAST LUMBER INSPECTION BUREAU. ALL SAWN LUMBER SHALL BE STAMPED WITH THE GRADE MARK OF AN APPROVED LUMBER GRADING AGENCY AND SHALL HAVE THE FOLLOWING UNADJUSTED MINIMUM DESIGN PROPERTIES, UNLESS NOTED OTHERWISE:

JOISTS:	WOOD TYPE:
2x4 to 2x8	DF-L * Fc=900 psi, Fv=180 psi, Fc=1350 psi, E=1600000psi
2x10 OR LARGER	DF-L * Fc=900 psi, Fv=180 psi, Fc=1350 psi, E=1600000psi
BEAM:	WOOD TYPE:
4x	DF-L * Fc=900 psi, Fv=180 psi, Fc=1350 psi, E=1600000psi
6x OR LARGER	DF-L * Fc=875 psi, Fv=170 psi, Fc=600 psi, E=1300000psi
STUDS:	WOOD TYPE:
2x4 & 2x6	DF STUD - Fc=100 psi, Fv=180 psi, Fc=850 psi, E=1400000psi
2x8 OR LARGER	DF-L * Fc=900 psi, Fv=180 psi, Fc=1350 psi, E=1600000psi
POSTS:	WOOD TYPE:
4x4	DF-L * Fc=900 psi, Fv=180 psi, Fc=1350 psi, E=1600000psi
6x6 OR LARGER	DF-L * Fc=900 psi, Fv=180 psi, Fc=1350 psi, E=1600000psi

GLUED-LAMINATED BEAM (GLB)

SHALL BE 24F-V4 FOR SINGLE SPANS & 24F-V8 FOR CONTINUOUS OR CANTILEVER SPANS WITH THE FOLLOWING MINIMUM PROPERTIES:
 F_b = 2,400 PSI, F_v = 165 PSI, F_c = 650 PSI (PERPENDICULAR), E = 1,800,000 PSI.

ENGINEERED WOOD BEAMS AND I-JOIST

CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND SPECIFICATIONS FOR APPROVAL BY BUILDING OFFICIAL DESIGN, FABRICATION AND ERECTION IN ACCORDANCE WITH THE LATEST ICC EVALUATION REPORT.

BEAMS DESIGNATED AS "L9L" SHALL HAVE THE MINIMUM PROPERTIES:
 F_b = 2,325 PSI, F_v = 310 PSI, F_c = 800 PSI (PERPENDICULAR), E = 1,550,000 PSI.

BEAMS DESIGNATED AS "LVL" SHALL HAVE THE MINIMUM PROPERTIES:
 F_b = 2,600 PSI, F_v = 285 PSI, F_c = 750 PSI (PERPENDICULAR), E = 1,500,000 PSI.

BEAMS DESIGNATED AS "PSL" SHALL HAVE THE MINIMUM PROPERTIES:
 F_b = 2,300 PSI, F_v = 230 PSI, F_c = 750 PSI (PERPENDICULAR), E = 2,000,000 PSI.

CALCULATIONS SHALL INCLUDE DEFLECTION AND CAMBER REQUIREMENTS. DEFLECTION SHALL BE LIMITED AS FOLLOWS:
 FLOOR LIVE LOAD MAXIMUM = L/480, FLOOR TOTAL LOAD MAXIMUM = L/240.

PREFABRICATED WOOD TRUSSES

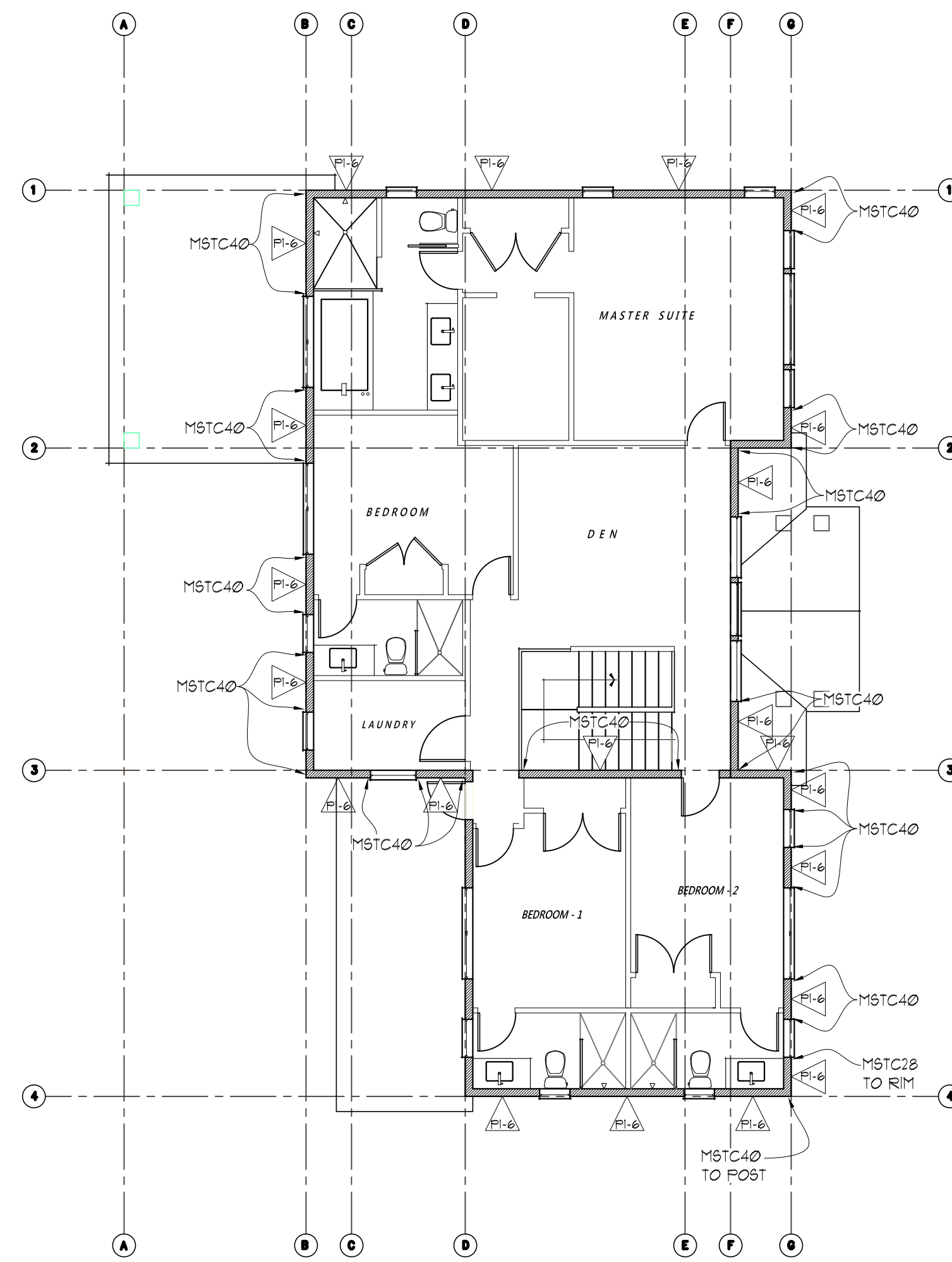
PRE-FABRICATED WOOD TRUSSES SHALL BE DESIGNED TO SUPPORT SELF WEIGHT PLUS LIVE LOADS & IMPOSED DEAD LOADS AS STATED IN THE GENERAL NOTES. TRUSSES SHALL BE DESIGNED & STAMPED BY A REGISTERED DESIGN PROFESSIONAL AND FABRICATED ONLY FROM THOSE DESIGNS. NON-BEARING WALLS SHALL BE HELD AWAY FROM THE TRUSS BOTTOM CHORD W/ AN APPROVED FASTENER (SUCH AS SIMPSON STC) TO ENSURE THAT THE TRUSS BOTTOM CHORD DOES NOT BEAR ON THE WALL. ALL PERMANENT TRUSS MEMBER BRACING SHALL BE INSTALLED PER THE TRUSS DESIGN DRAWINGS.

ROOF/WALL FLOOR SHEATHING

ROOF SHEATHING SHALL BE MINIMUM 3/4" SHEATHING W/ 2/3" SPAN INDEX UNO. WALL SHEATHING INCLUDING GABLES SHALL BE 3/8" SHEATHING W/ 2/3" SPAN INDEX MINIMUM UNO. FLOOR SHEATHING SHALL BE MINIMUM 3/4" T&G SHEATHING W/ 40% SPAN INDEX MINIMUM UNO. MINIMUM NAILING SHALL BE 8d COMMON NAILS @ 6" O.C. @ PANEL EDGES & 12" O.C. IN PANEL FIELD UNO ON SHEAR WALL SCHEDULE. ROOF AND FLOOR SHEATHING SHALL BE LAID OUT W/ LONG DIMENSION PERPENDICULAR TO FRAMING MEMBERS W/ END LAPS STAGGERED. WALL SHEATHING INCLUDING GABLES SHALL BE FULLY BLOCKED & EDGE NAILED AT ALL UNSUPPORTED SHEATHING PANEL EDGES.

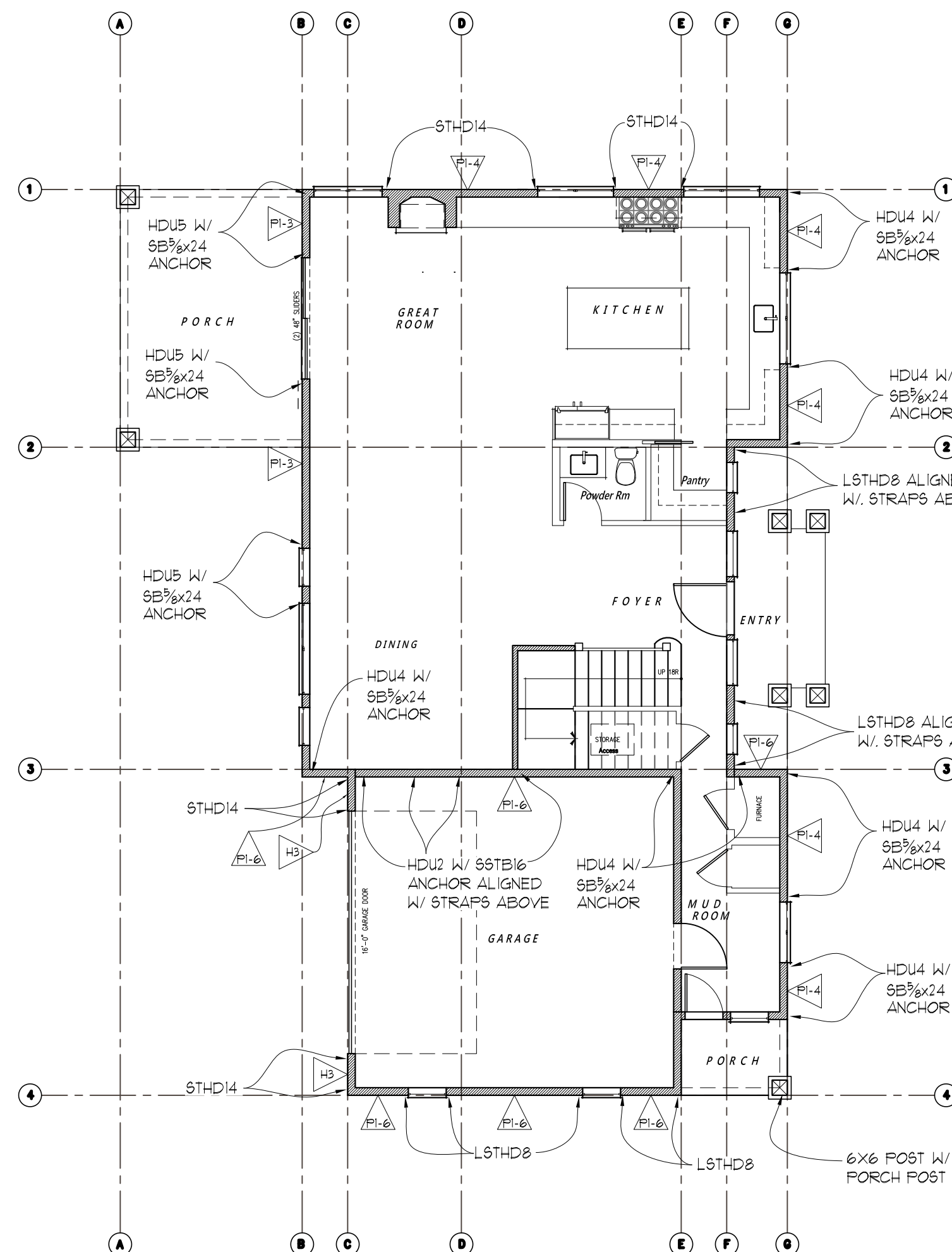
STAIR FRAMING

UNLESS NOTED OTHERWISE SPECIFIED, TYPICAL STAIR FRAMING SHALL CONSIST OF 2x12 STAIR STRINGERS SPACED AT NO MORE THAN 18" O.C. AND REINFORCED W/ 2x6 SCABS ATTACHED W/ 10d COMMON NAILS STAGGERED AT 8" O.C. STRINGERS SHALL BE SUPPORTED AT UPPER END BY BEARING ON TOP PLATE OF WALL OR APPROVED CONNECTOR TO FLOOR BEAM SUCH AS SIMPSON LRU OR LSC. LANDINGS SHALL CONSIST OF CONVENTIONAL PLATFORM FRAMING W/ MINIMUM 2x6 JOISTS @ 16" O.C.



UPPER FLOOR SHEAR WALL KEY PLAN

SCALE: 1/8"=1'-0"

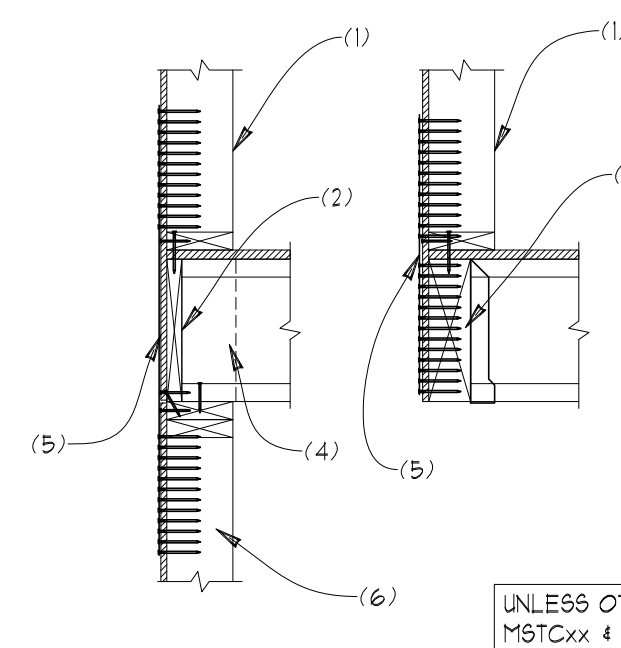


MAIN FLOOR SHEAR WALL KEY PLAN

SCALE: 1/8"=1'-0"

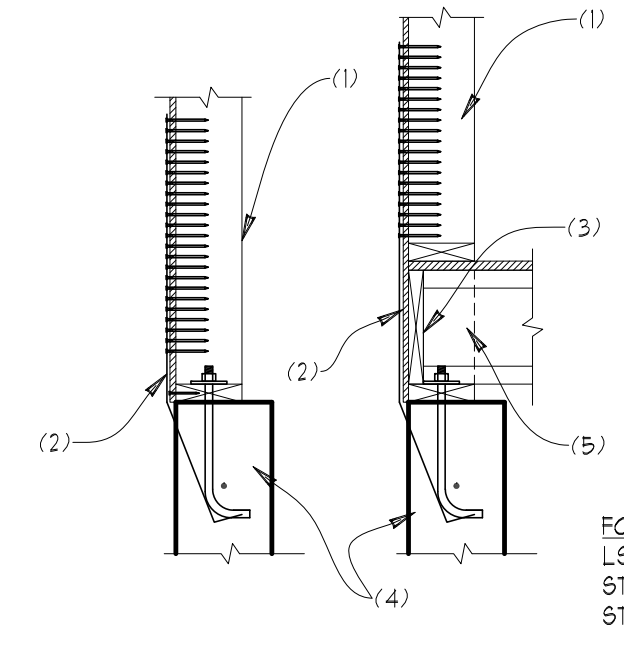
SHEAR WALL SCHEDULE										
WALL MARK	SHEATHING THICKNESS	SIDES	SHEAR PANEL EDGE NAILING	FIELD NAILING	FRAMING @ ABUTTING PANEL EDGES	SOLE/BASE PLATE NAILING TO JOIST OR BLKG/RIM BELOW	ANCHOR BOLT DIA. & SPACING	SILL PLATE SIZE	POST AT ENDS OF SHEAR WALL HOLD-DOWN UNO.	
PI-6	1/2"	ONE	8d @ 6" O.C.	12" O.C.	2X	16d SINKER NAILS (0.148"x3 1/4") @ 8" O.C.	5/8" DIA. @ 66" O.C.	2X	(2) 2X POST (FACE NAIL W/ 10d (0.131"x3") NAILS @ 12" O.C. (STAGGER)	
PI-4	1/2"	ONE	8d @ 4" O.C.	12" O.C.	2X	16d SINKER NAILS (0.148"x3 1/4") @ 6" O.C.	5/8" DIA. @ 60" O.C.	2X	(2) 2X POST (FACE NAIL W/ 10d (0.131"x3") NAILS @ 12" O.C. (STAGGER)	
PI-3	1/2"	ONE	8d @ 3" O.C.	12" O.C.	2X	16d SINKER NAILS (0.148"x3 1/4") @ 4" O.C.	5/8" DIA. @ 36" O.C.	2X	(2) 2X POST (FACE NAIL W/ 10d (0.131"x3") NAILS @ 12" O.C. (STAGGER)	
H3	1/2"	ONE	SEE DETAIL H3 ON SHEET 91 FOR NAILING SPACING, STRAP & HOLD-DOWN TYPES							

- FRAMING SHALL BE 2X DOUG-FIR @ 16" O.C. MAX UNLESS NOTED OTHERWISE IN SCHEDULE.
- SHEATHING PANELS MAY BE LAYED VERTICAL OR HORIZONTAL. BLOCK ALL HORIZONTAL EDGES W/ 2x OR 3x BLOCKING PER SCHEDULE (UNO).
- ALL EXTERIOR WALLS NOT DESIGNATED AS SHEARWALLS SHALL RECEIVE APA RATED SHEATHING OR ALL VENEER PLYWOOD SIDING OF EQUIVALENT THICKNESS AT POINT OF FASTENING ON PANEL EDGES, FULLY BLOCKED WITH MINIMUM NAILING OF 8d @ 6" O.C. EDGE, 12" O.C. FIELD.
- NAILING APPLIES TO ALL STUDS, TOP AND BOTTOM PLATES, AND BLOCKING. PLYWOOD JOINT AND SILL PLATE NAILING SHALL BE STAGGERED.
- ANCHOR BOLT SPACING IS 6'-0" O.C. (4'-0" AT BUILDINGS OVER 2 STORIES) UNLESS NOTED OTHERWISE IN SCHEDULE. MINIMUM OF 2 ANCHOR BOLTS PER PIECE OF FOUNDATION PLATE. ANCHOR BOLTS SPACED NO GREATER THAN 12" AND NO LESS THAN 1 TIME THE ANCHOR BOLT DIAMETER AT ENDS AND SPLICES. PROVIDE 0.229"x3"x3" WASHERS AT ANCHOR BOLTS. PLATE WASHERS SHALL EXTEND TO WITHIN 1/2" OF THE SHEATHED EDGE OF THE SILL PLATE ON WALLS W/ EDGE NAILING AT 4" O.C. OR TIGHTER, DO NOT RECESS BOLTS.
- ALL NAILS FOR SHEAR WALLS SHALL BE COMMON OR GALVANIZED BOX NAILS (UNO). ALL SPECIFIED NAILS SHALL HAVE THE FOLLOWING DIMENSIONS: 8d COMMON (0.131" DIA, 2 1/2" LONG), 8d BOX (0.131" DIA, 2 1/2" LONG), 10d COMMON (0.148" DIA, 3" LONG), 10d BOX (0.128" DIA, 3" LONG), 16d COMMON (0.162" DIA, 3 1/2" LONG), 16d SINKER (0.148" DIA, 3 1/4" LONG), 5d COOLER (0.096" DIA, 1 9/16" LONG), 6d COOLER (0.092" DIA, 1 7/8" LONG).
- 1 1/2" No. 6 DRYWALL SCREWS (TYPE W OR S) MAY BE SUBSTITUTED FOR NAILS LISTED AS 5d COOLER OR 6d COOLER FOR GYPSUM WALL BOARD SHEARWALLS.
- IN LIEU OF 3x VERTICALS AND BLOCKING AT PANEL EDGES, 2-2x5 W/ 10d (0.131"x3") FACE NAILS STAGGERED AT THE SAME SPACING AS PANEL EDGE NAILING MAY BE SUBSTITUTED. PLYWOOD EDGES TO BE CENTERED BETWEEN THE 2-2x METERS (THIS ALTERNATIVE DOES NOT APPLY TO FOUNDATION SILL PLATES OR TO WALLS WITH 8d EDGE NAILING AT 2" O.C. OR 10d EDGE NAILING AT 3" O.C. OR 2" O.C. OR WALLS SHEATHED ON BOTH SIDES).
- HOLD-DOWNS AND STRAPS OF EQUIVALENT UPLIFT CAPACITY WITH CURRENT ICC EVALUATION REPORT OR SIMILAR MAY BE SUBSTITUTED FOR THOSE LISTED IN THE SHEARWALL SCHEDULE WITH PRIOR APPROVAL OF BUILDING OFFICIAL OR ENGINEER OF RECORD.
- SQUASH BLOCKS IN FLOOR JOIST CAVITY ARE REQUIRED AT ENDS OF SHEAR WALLS WHERE FULL BEARING IS NOT PROVIDED BY THE FRAMING BELOW.
- SIMPSON MASAP MUDSILL ANCHORS MAY BE SUBSTITUTED (1) FOR (1) AT 2X SILL PLATES FOR THE 5/8" DIA. SILL PLATE ANCHOR BOLTS SPECIFIED.



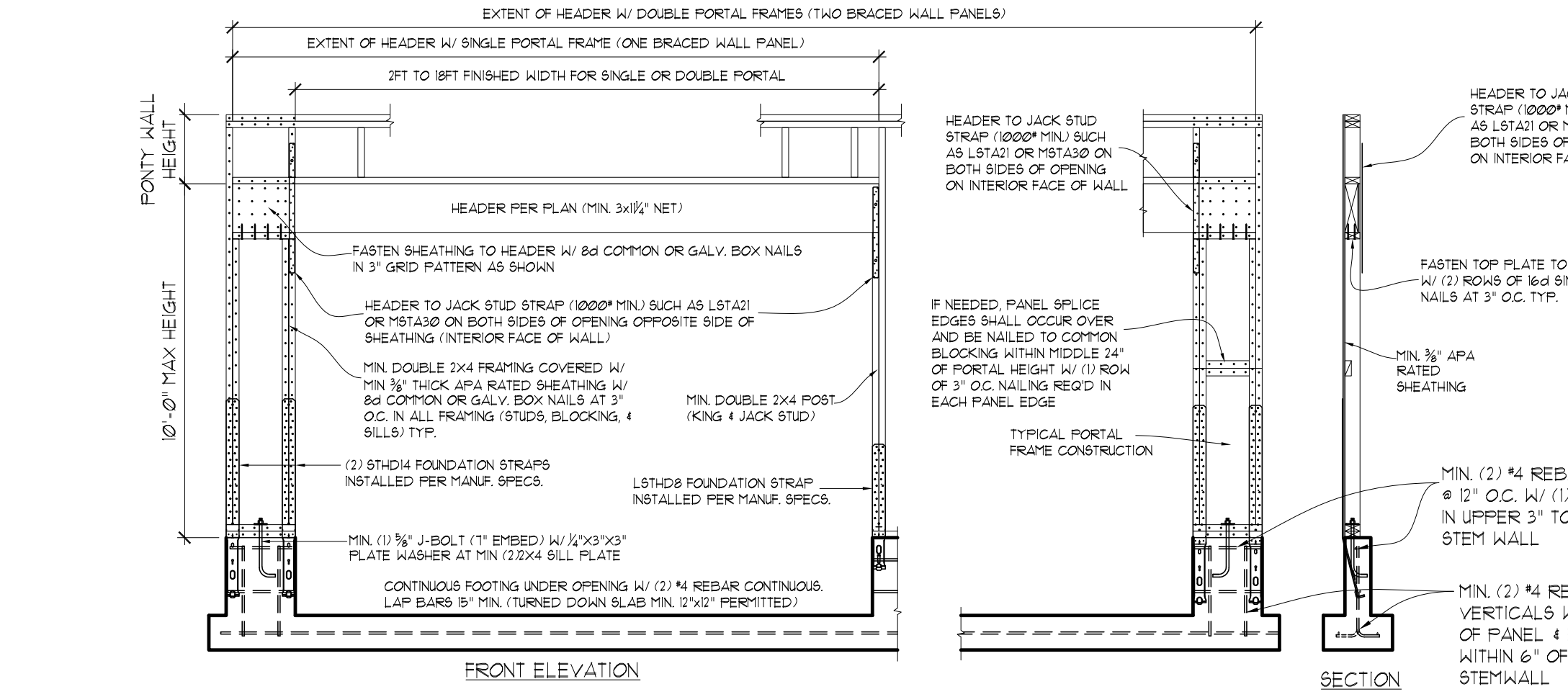
H1 TYPICAL STRAP TIE @ UPPER FLOORS

SCALE: 3/4"=1'



H2 TYPICAL STRAP TIE HOLDOWN

SCALE: 3/4"=1'



H3 PORTAL FRAME CONSTRUCTION (FIELD BUILT)

SCALE: NTS

STRUCTURAL PLANS
RKK CONSTRUCTION
CHASE'S CORNER - LOT 2
MERCER ISLAND, WA

Myers Engineering, LLC
 3206 50th Street Ct NW, Ste. 210-B
 Gig Harbor, WA 98335
 PH: 253-858-3248
 Email: myengineer@centurytel.net



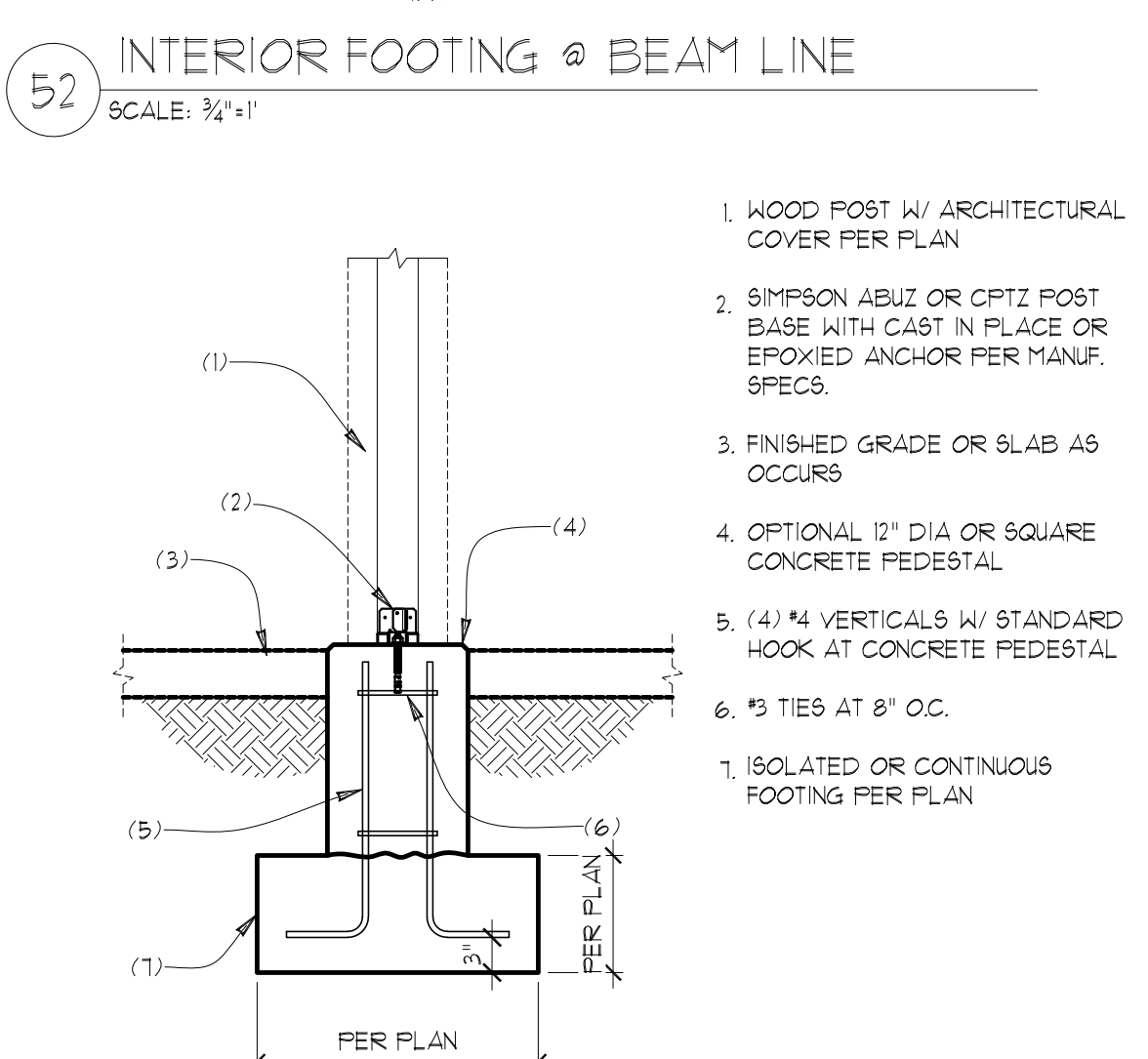
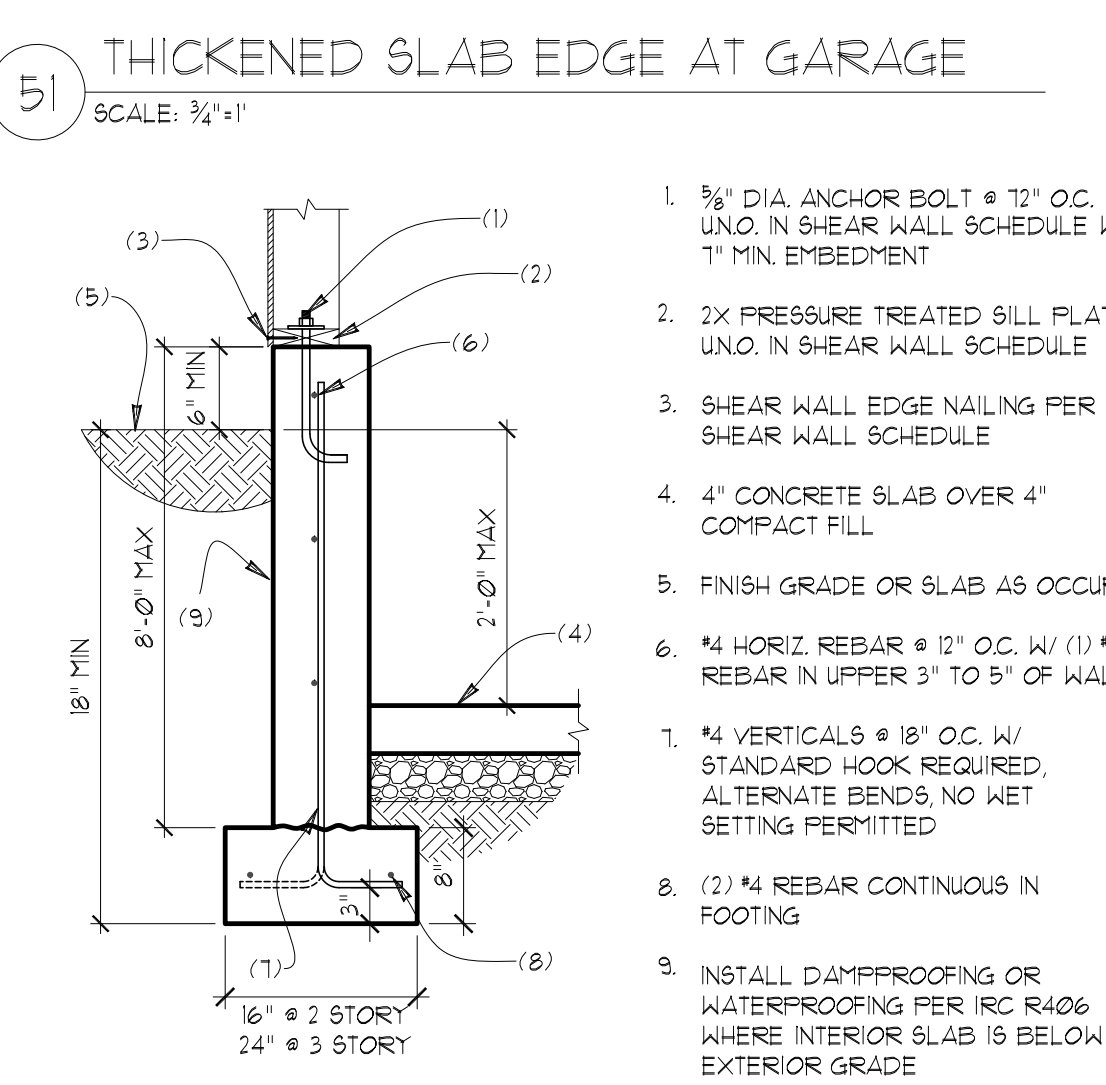
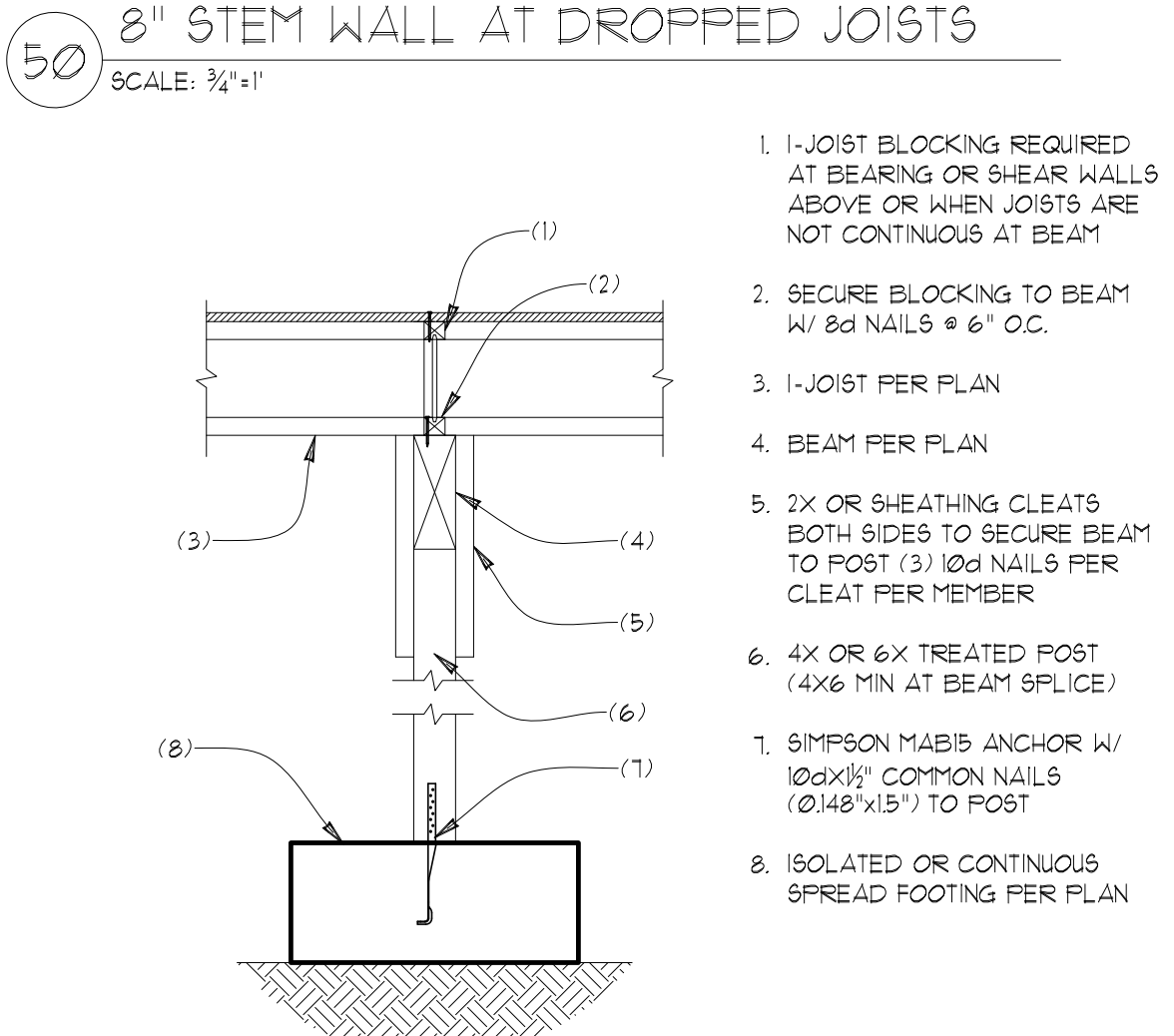
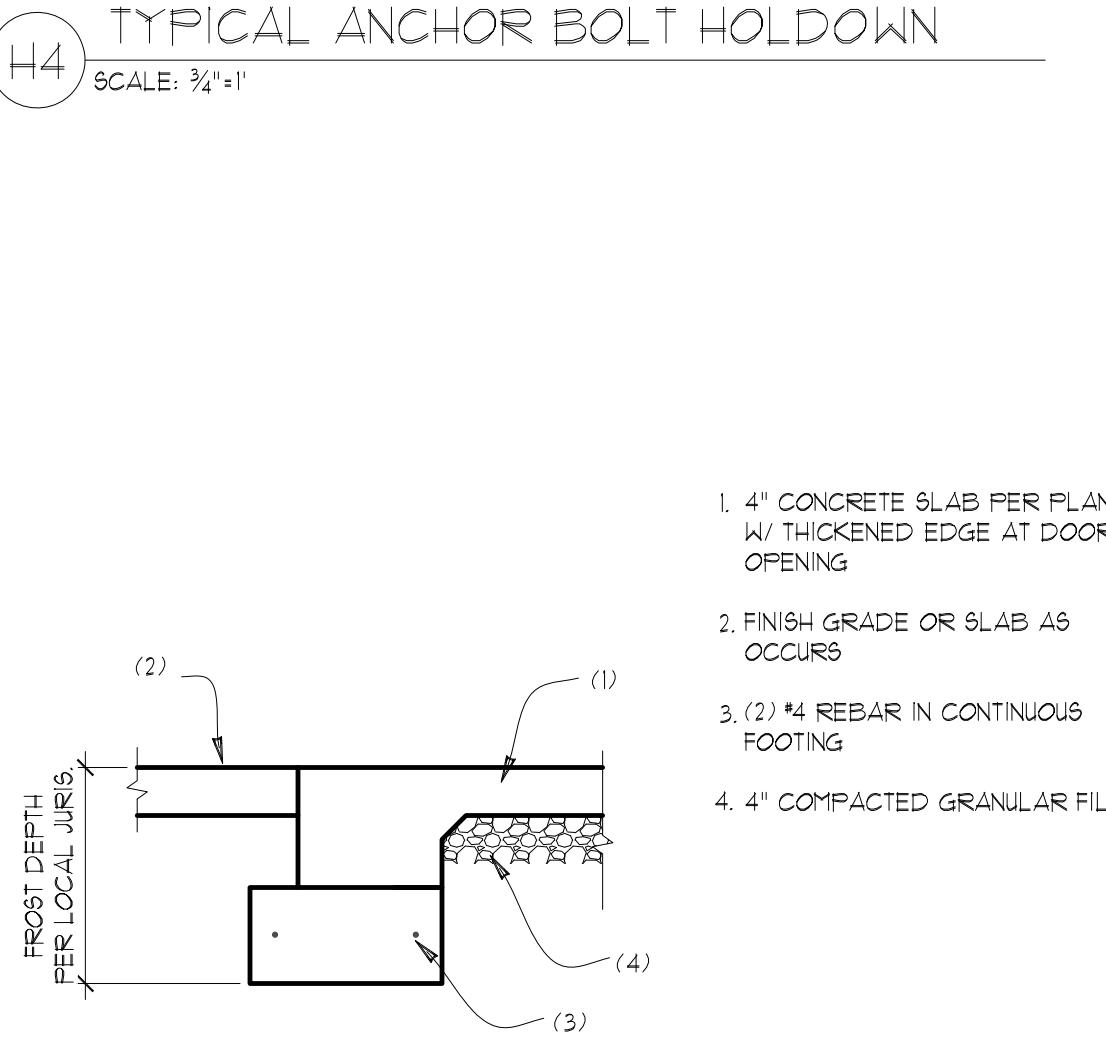
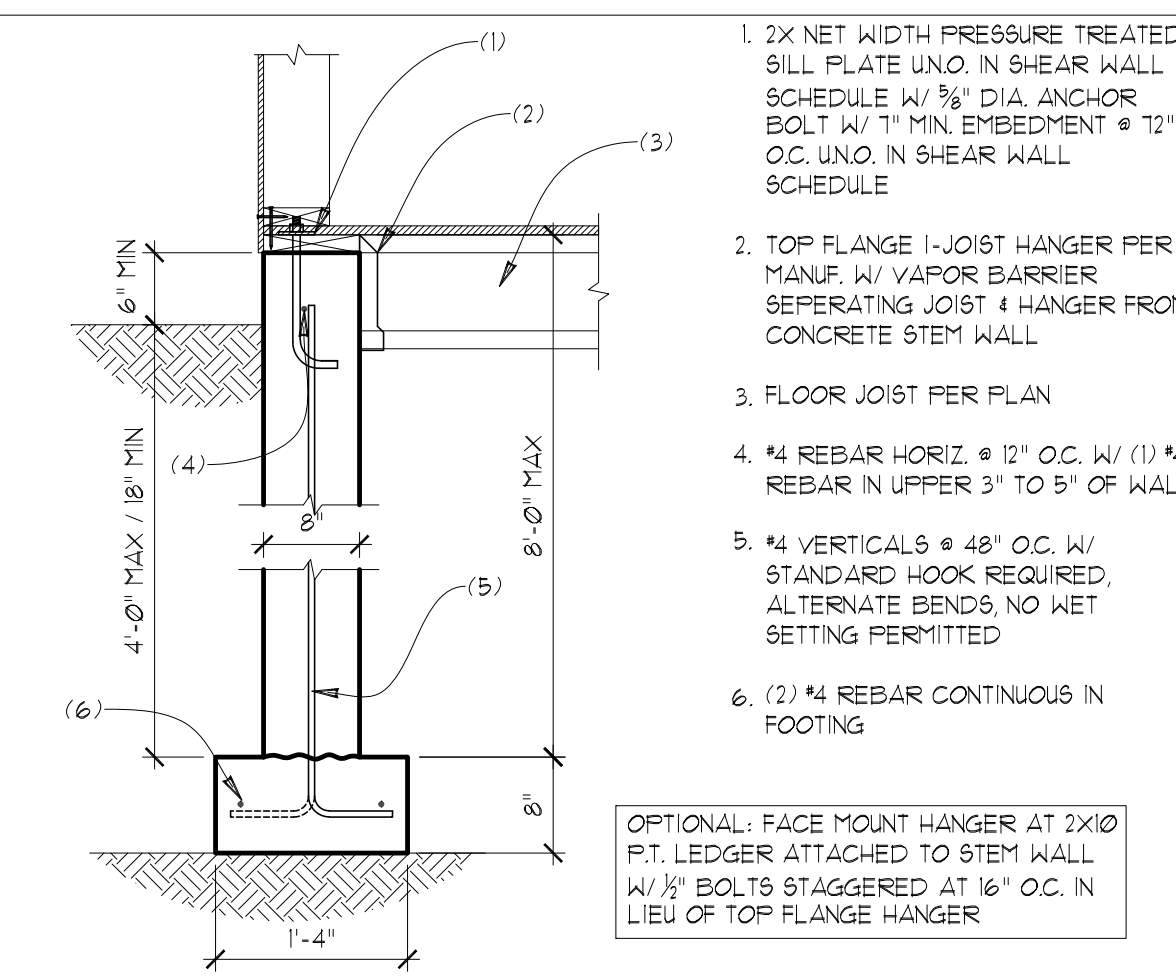
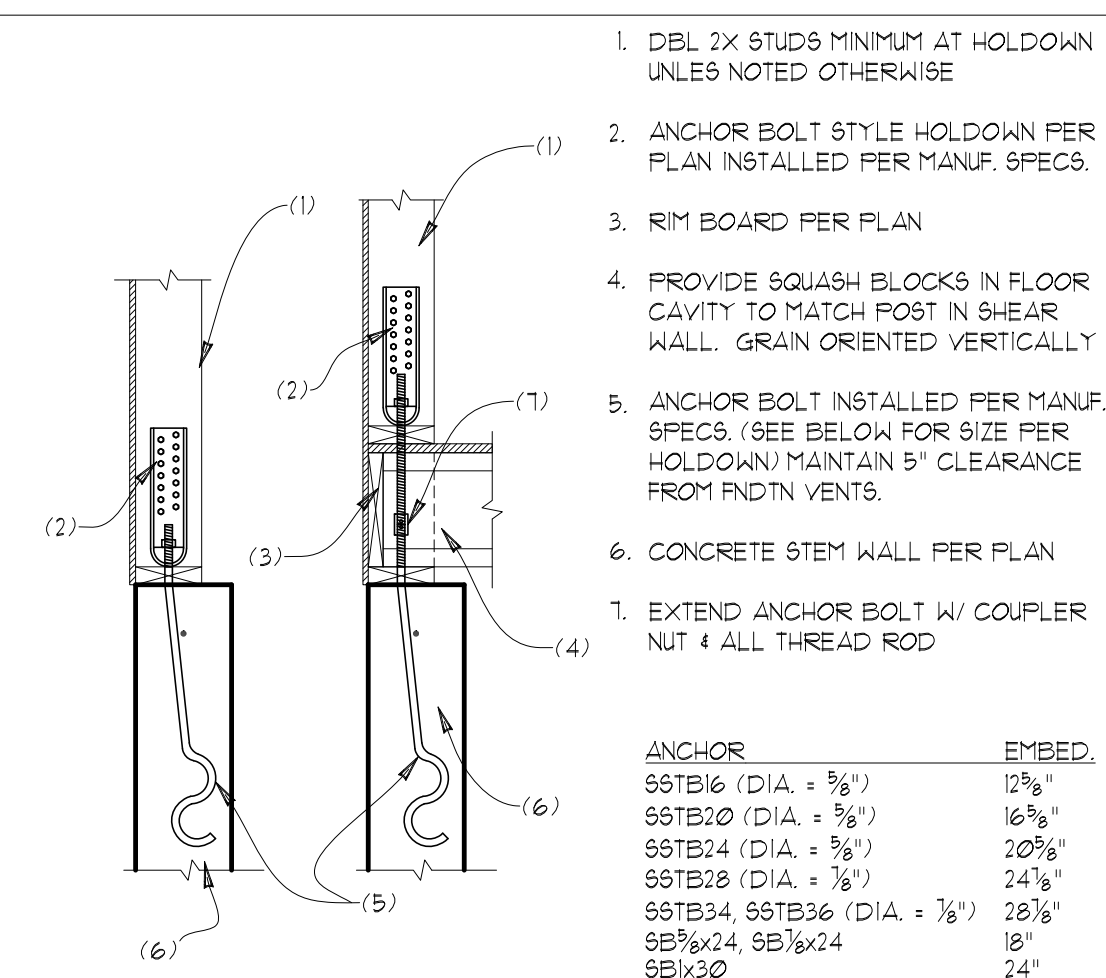
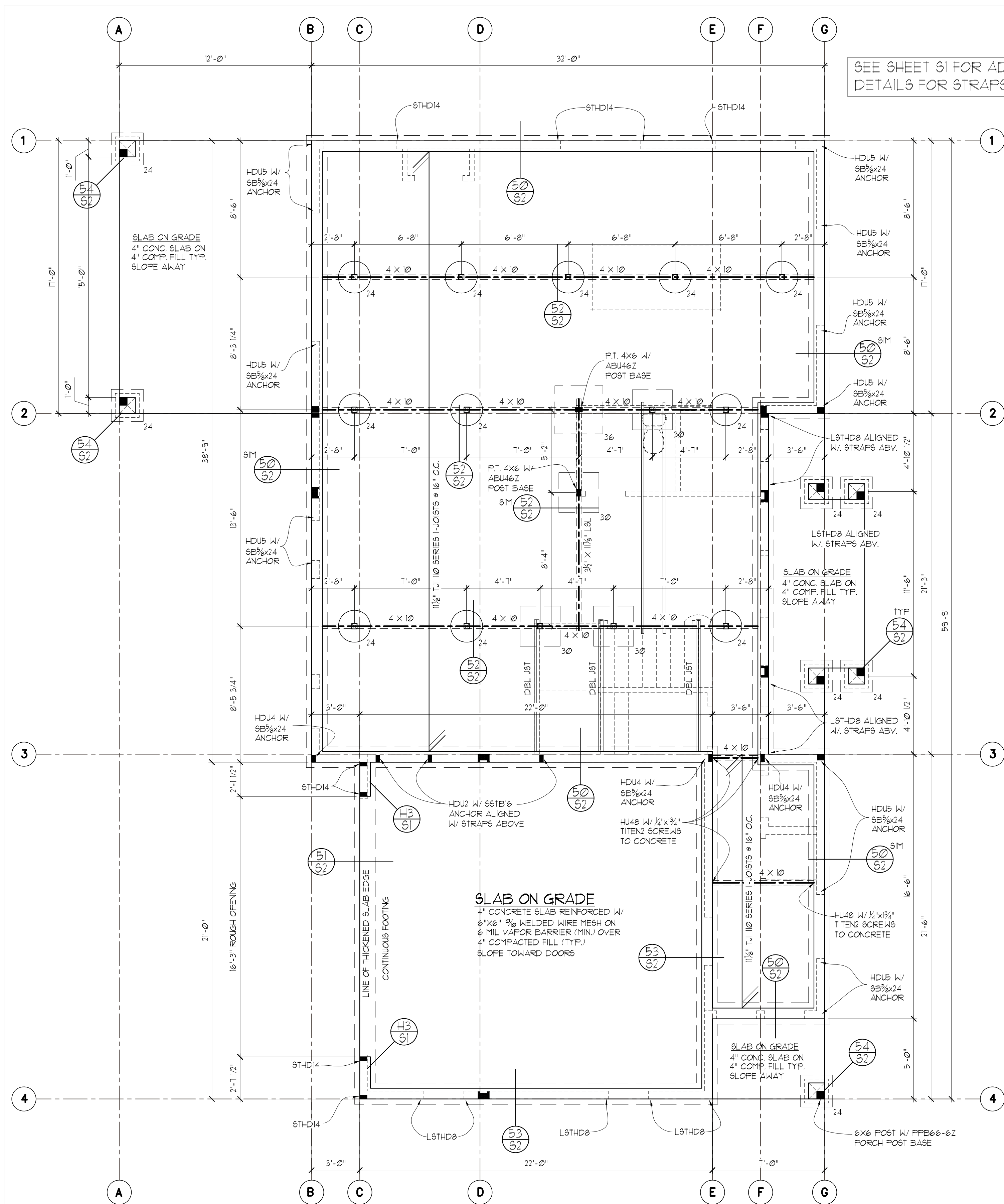
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BUILDING DEPT. APPROVAL STAMPS:

REVISION:	INITI:	DATE:
GARAGE ROOF	MM	5-4-2022

DATE:	12-14-2021
INITI:	MM
PROJECT #:	2406

S1



FOUNDATION/FLOOR FRAMING PLAN

- SCALE: 1/4" = 1'-0"
- ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED
 - SOFFIT, VENT, AND INSULATE ALL CANTILEVERED AREAS
 - PROVIDE SOLID BLOCKING OVER SUPPORTS
 - ALL FOOTINGS TO REST ON UNDISTURBED SOIL
 - PROVIDE COPY OF CONCRETE "BATCH TICKET" ON SITE FOR REVIEW BY BUILDING OFFICIAL
 - PROVIDE SOLID FRAMING EQUAL TO THE WIDTH OF THE MEMBER BEING SUPPORTED (U.N.O.)
 - PROVIDE SUPPLEMENTAL BLOCKING IN FLOOR CAVITY BELOW SUPPORT POSTS FOR GIRDERS, BEAMS, AND END POSTS FOR SHEAR WALLS TO MATCH FULL WIDTH OF POSTS IN WALL ABV. W/ GRAIN ORIENTED VERTICALLY

FOOTING SCHEDULE

NOTE: USE MIN. 6" WIDE POST BELOW BEAM SPLICES
USE P.T. 4 X 4 POSTS BELOW 4 X BEAMS U.N.O.
USE P.T. 6 X 6 POST BELOW 6 X BEAMS U.N.O.

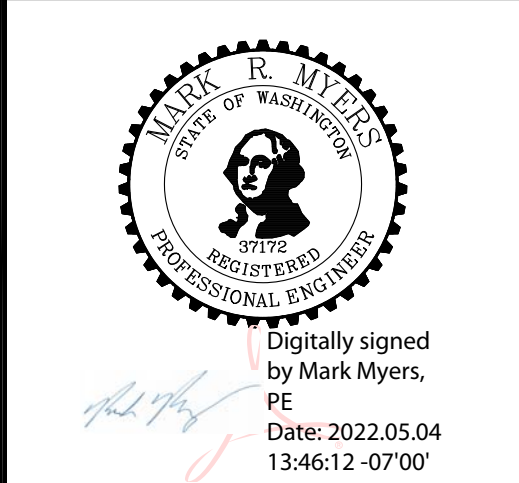
24	P.T. POST ON 24" DIA. X 10" THICK PLAIN CONC. FOOTING
24	P.T. POST ON 24" X 24" X 10" THICK CONC. FOOTING W/ 2- # 4 BARS EACH WAY
30	P.T. POST ON 30" X 30" X 12" THICK CONC. FOOTING W/ 3- # 5 BARS EACH WAY
36	P.T. POST ON 36" X 36" X 12" THICK CONC. FOOTING W/ 3- # 5 BARS EACH WAY
42	P.T. POST ON 42" X 42" X 12" THICK CONC. FOOTING W/ 4- # 5 BARS EACH WAY

FOOTING SIZES BASED ON 1500 PSF SOIL BEARING CAPACITY

STRUCTURAL PLANS

RKK CONSTRUCTION
CHASE'S CORNER - LOT 2
MERCER ISLAND, WA

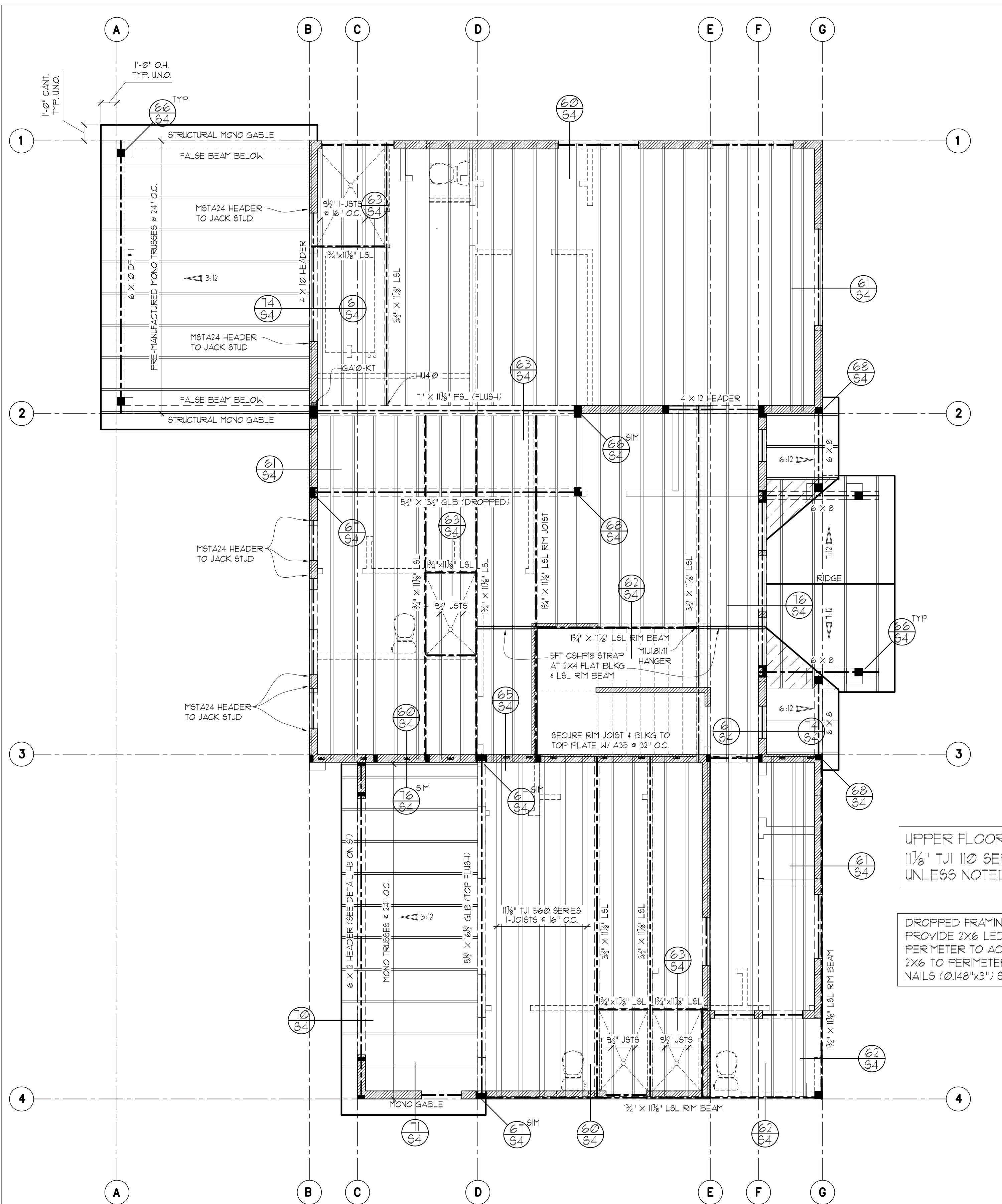
Myers Engineering, LLC
3206 50th Street Ct NW, Ste. 210-B
Gig Harbor, WA 98335
PH: 253-858-3248
Email: myengineer@centurytel.net



BUILDING DEPT. APPROVAL STAMPS:

REVISION:	INIT:	DATE:
GARAGE ROOF	MM	5-4-2022

S2	DATE:	12-14-2021
	INIT:	MM
PROJECT # 2406		



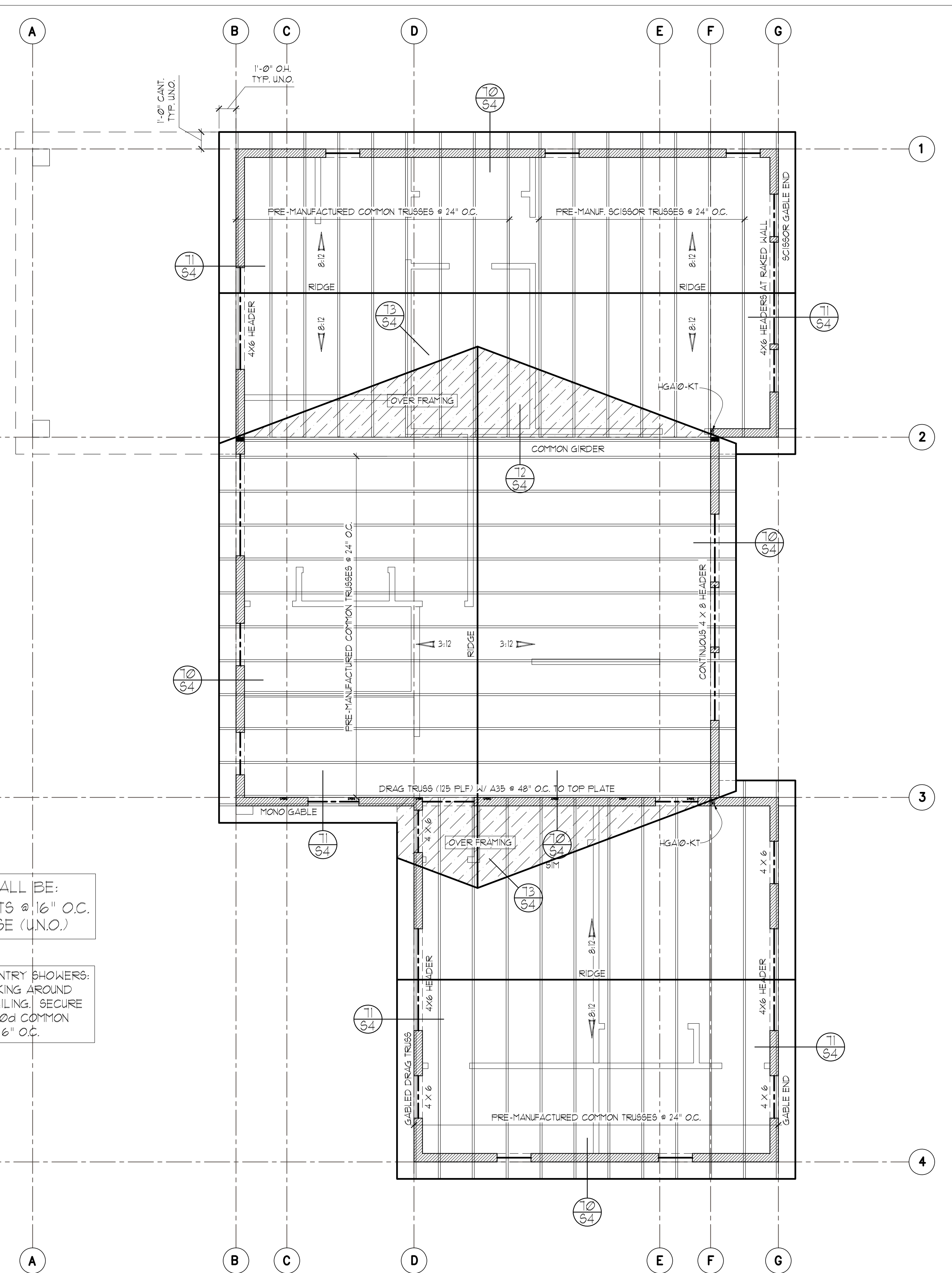
UPPER FLOOR FRAMING PLAN

SCALE : 1/4" = 1'-0"

- SOFFIT, VENT, AND INSULATE ALL CANTILEVERED AREAS
- EXTERIOR WALLS TO BE 2X6 AT 16" O.C., U.N.O.
- ALL DOOR/WINDOW HEADERS AT THIS LEVEL TO BE 4X10 DF #2 AT BEARING WALLS, U.N.O., 6'-0" MAX. SPAN
- INTERIOR PARTITIONS TO BE 2X4 AT 16" O.C. (2X6 @ PLUMBING WALLS) U.N.O.
- HEADERS 8FT OR LONGER SHALL BE PROVIDED W/ (2) TRIMMER (JACK) STUDS AT EACH END U.N.O.
- PROVIDE SOLID FRAMING EQUAL TO THE WIDTH OF THE MEMBER BEING SUPPORTED (U.N.O.)
- PROVIDE SUPPLEMENTAL BLOCKING IN FLOOR CAVITY BELOW SUPPORT POSTS FOR GIRDERS, BEAMS, AND END POSTS FOR SHEAR WALLS TO MATCH FULL WIDTH OF POSTS IN WALL ABV. W/ GRAIN ORIENTED VERTICALLY AND PROVIDE MATCHING POSTS IN WALL BELOW UNLESS LARGER POSTS ARE SPECIFIED ON PLAN

UPPER FLOOR JOISTS SHALL BE:
1 1/8" TJI 110 SERIES 1-JOISTS @ 16" O.C.
UNLESS NOTED OTHERWISE (U.N.O.)

DROPPED FRAMING FOR FLUSH ENTRY SHOWERS:
PROVIDE 2X6 LEDGERS & BLOCKING AROUND PERIMETER TO ACCEPT EDGE NAILING. SECURE 2X6 TO PERIMETER FRAMING W/ 10d COMMON NAILS (0.148"x3") STAGGERED AT 6" O.C.



ROOF FRAMING PLAN

SCALE : 1/4" = 1'-0"

- PROVIDE VENTED BLOCKING AT REQUIRED TRUSS/RAFTER BAYS
- ALL MANUFACTURED TRUSSES:
 - * SHALL HAVE DESIGN DETAILS AND DRAWINGS ON SITE FOR FRAMING INSPECTION
 - * SHALL NOT BE FIELD ALTERED WITHOUT ENGINEER'S APPROVAL
 - * SHALL BE INSTALLED AND BRACED TO MANUFACTURER'S SPECIFICATION
 - * SHALL CARRY MANUFACTURER'S STAMP ON EACH TRUSS
- ALL BEAMS AND HEADERS AT THIS LEVEL TO BE 4X10 DF #2 AT BEARING WALLS, U.N.O., 6'-0" MAX. SPAN
- HEADERS 8FT OR LONGER SHALL BE PROVIDED W/ (2) TRIMMER (JACK) STUDS AT EACH END U.N.O.
- PROVIDE SOLID FRAMING EQUAL TO THE WIDTH OF THE MEMBER BEING SUPPORTED (U.N.O.)
- PROVIDE SUPPLEMENTAL BLOCKING IN FLOOR CAVITY BELOW SUPPORT POSTS FOR GIRDERS, BEAMS, AND END POSTS FOR SHEAR WALLS TO MATCH FULL WIDTH OF POSTS IN WALL ABV. W/ GRAIN ORIENTED VERTICALLY AND PROVIDE MATCHING POSTS IN WALL BELOW UNLESS LARGER POSTS ARE SPECIFIED ON PLAN

STRUCTURAL PLANS

RKK CONSTRUCTION
CHASE'S CORNER - LOT 2
MERCER ISLAND, WA

Myers Engineering, LLC
3206 50th Street Ct NW, Ste. 210-B
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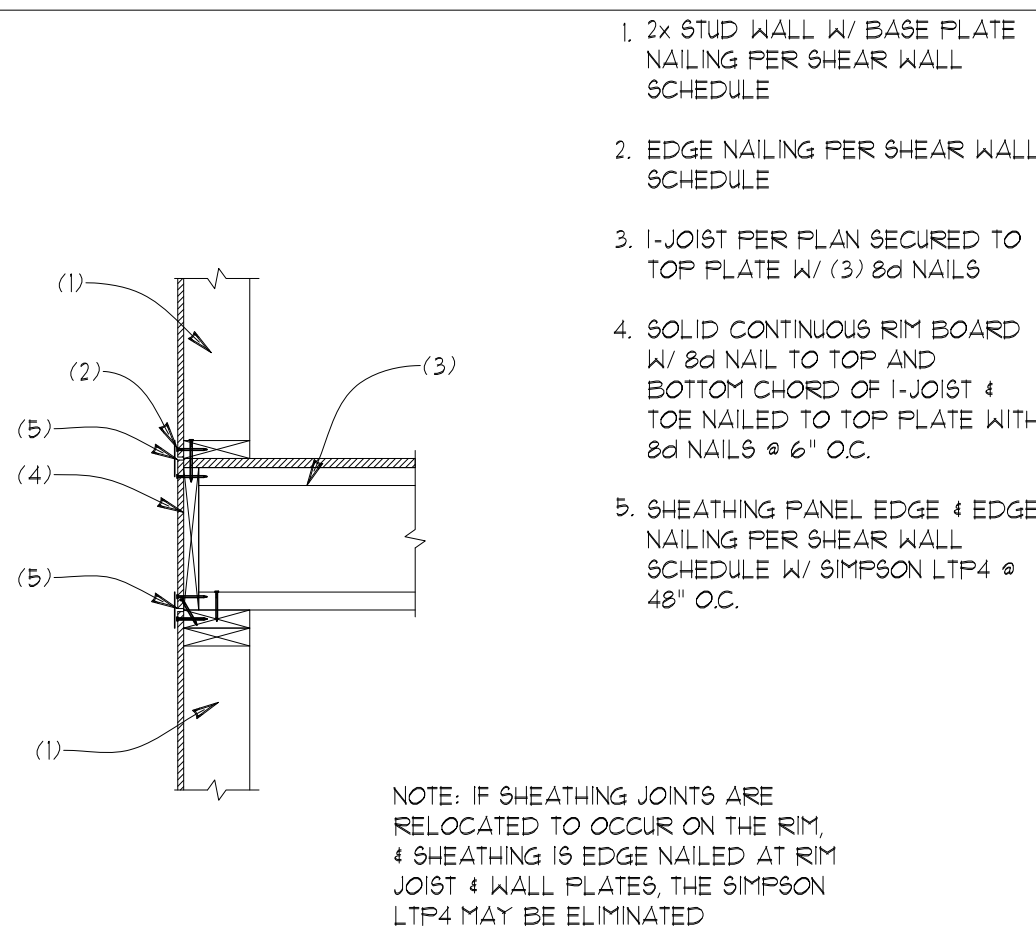


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by Mark Myers,
PE
Date: 2022.05.04
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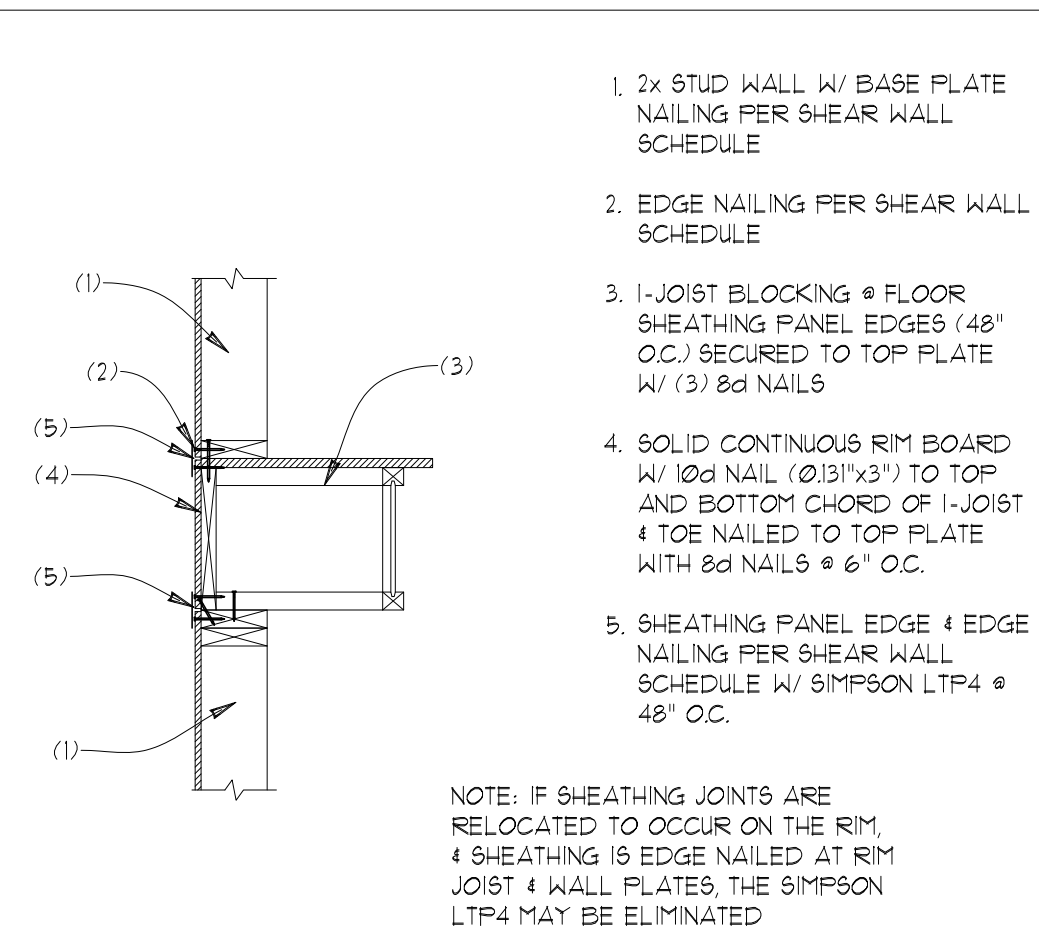
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GARAGE ROOF	MM	5-4-2022

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	INIT:	MM
	PROJECT #:	2406



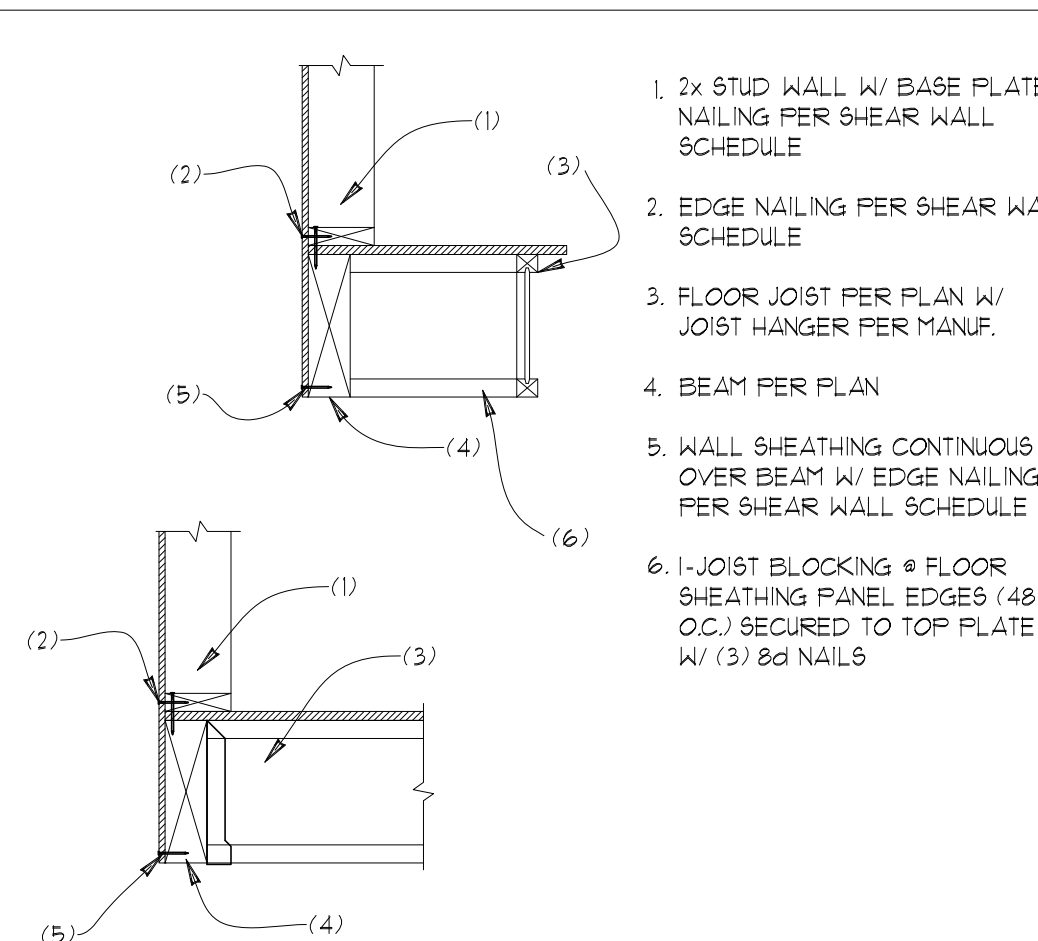
NOTE: IF SHEATHING JOINTS ARE RELOCATED TO OCCUR ON THE RIM, 4 SHEATHING IS EDGE NAILED AT RIM JOIST & WALL FLATES, THE SIMPSON LTP4 MAY BE ELIMINATED

60 FLOOR JOIST BEARING AT STUD WALL
SCALE: 3/4"=1"

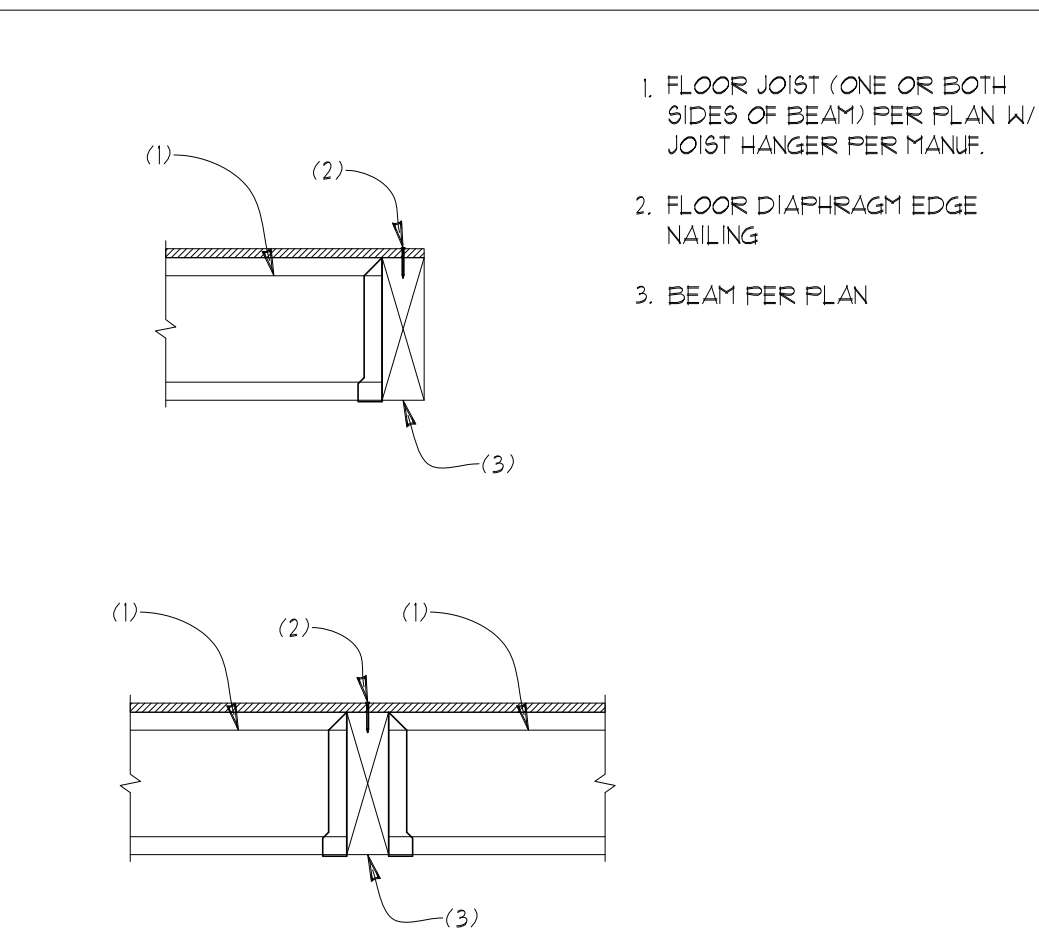


NOTE: IF SHEATHING JOINTS ARE RELOCATED TO OCCUR ON THE RIM, 4 SHEATHING IS EDGE NAILED AT RIM JOIST & WALL FLATES, THE SIMPSON LTP4 MAY BE ELIMINATED

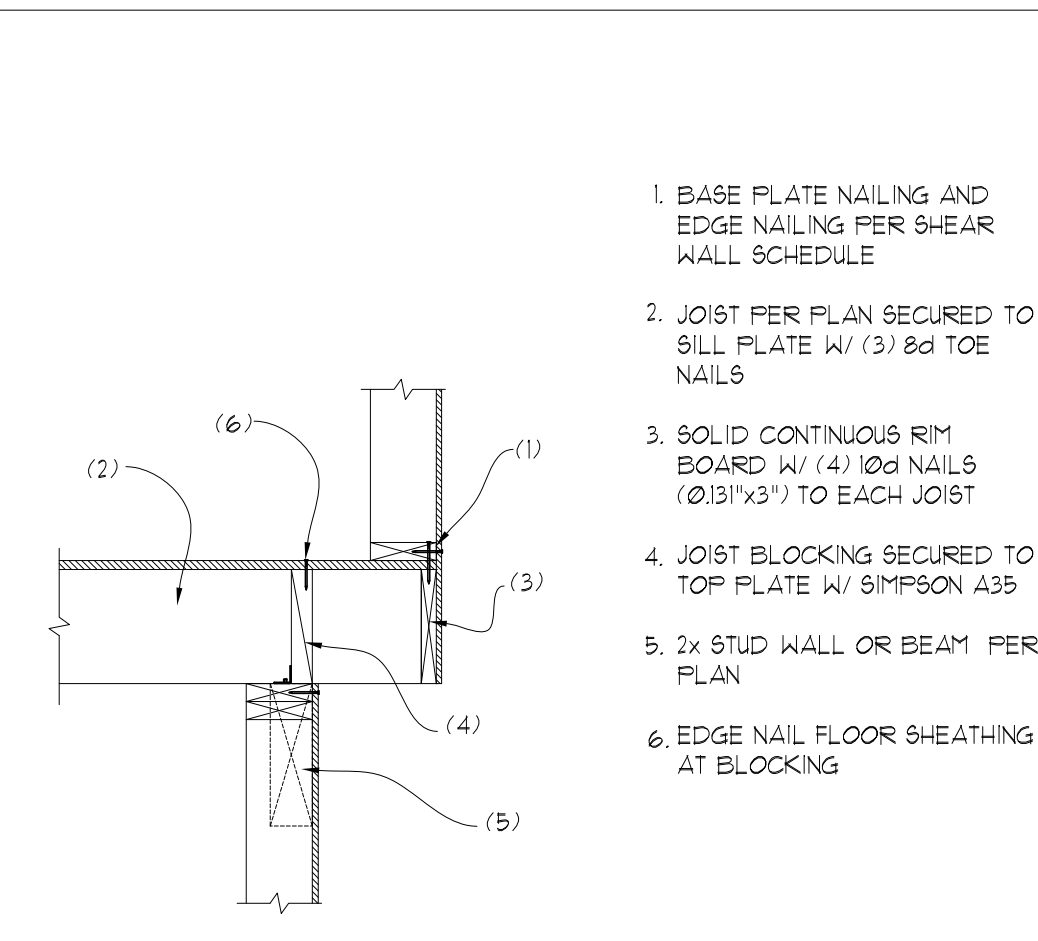
61 FLOOR JOIST PARALLEL TO STUD WALL
SCALE: 3/4"=1"



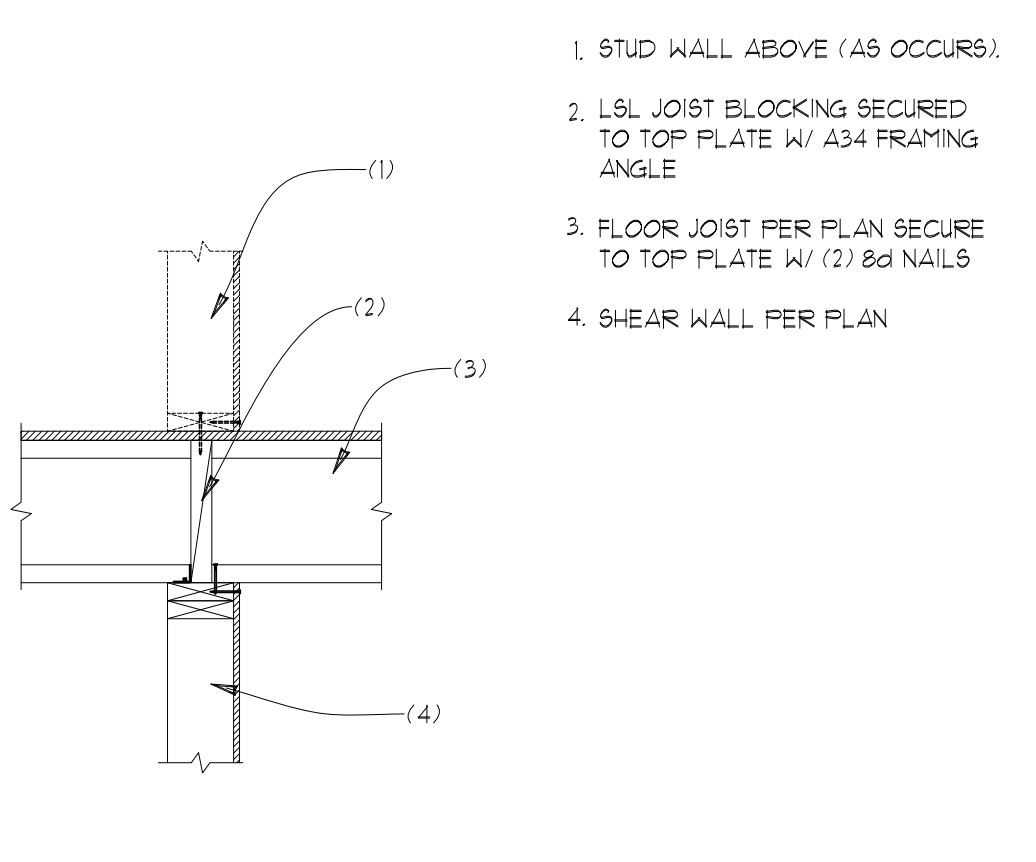
62 FLOOR JOIST AT BEAM
SCALE: 3/4"=1"



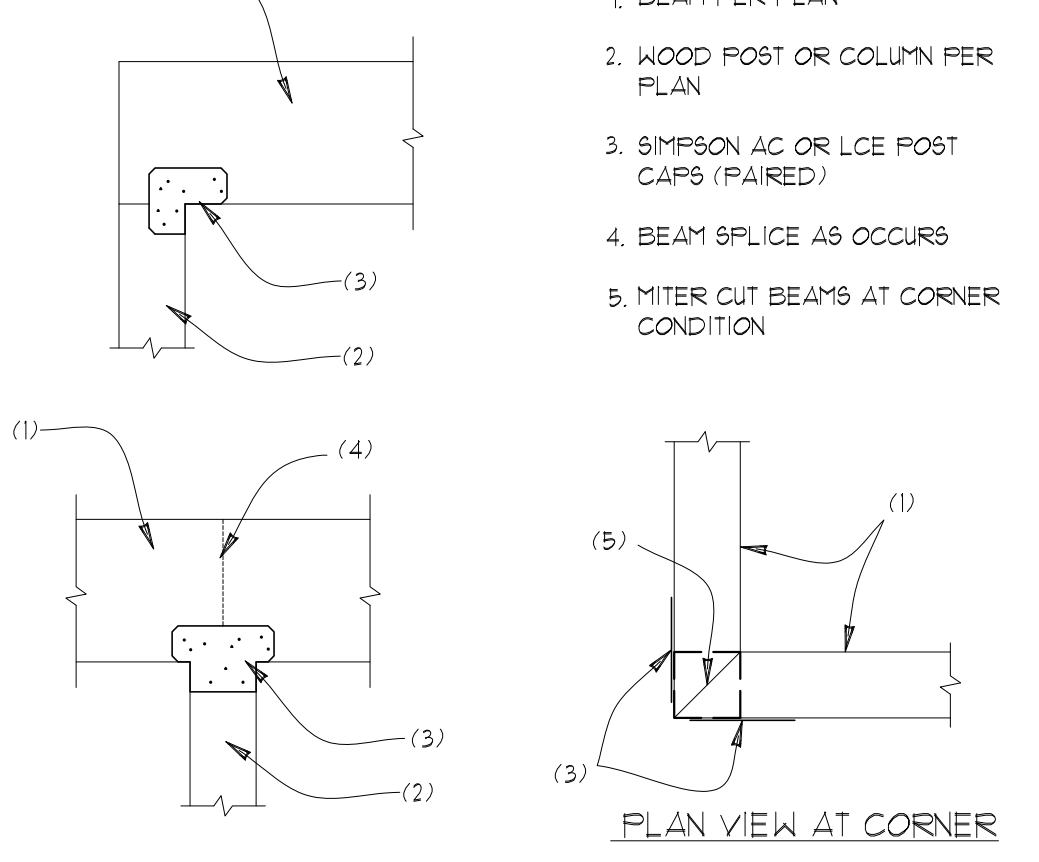
63 FLOOR JOIST AT BEAM
SCALE: 3/4"=1"



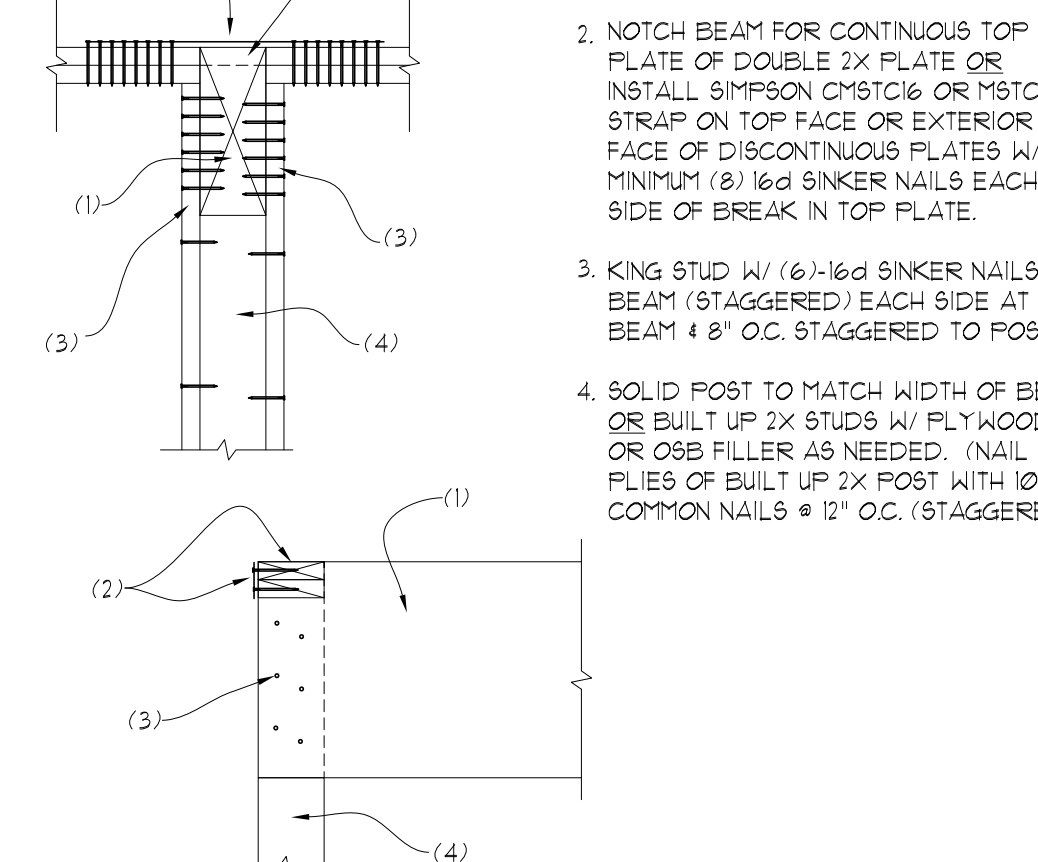
64 JOIST CANTILEVER
SCALE: 3/4"=1"



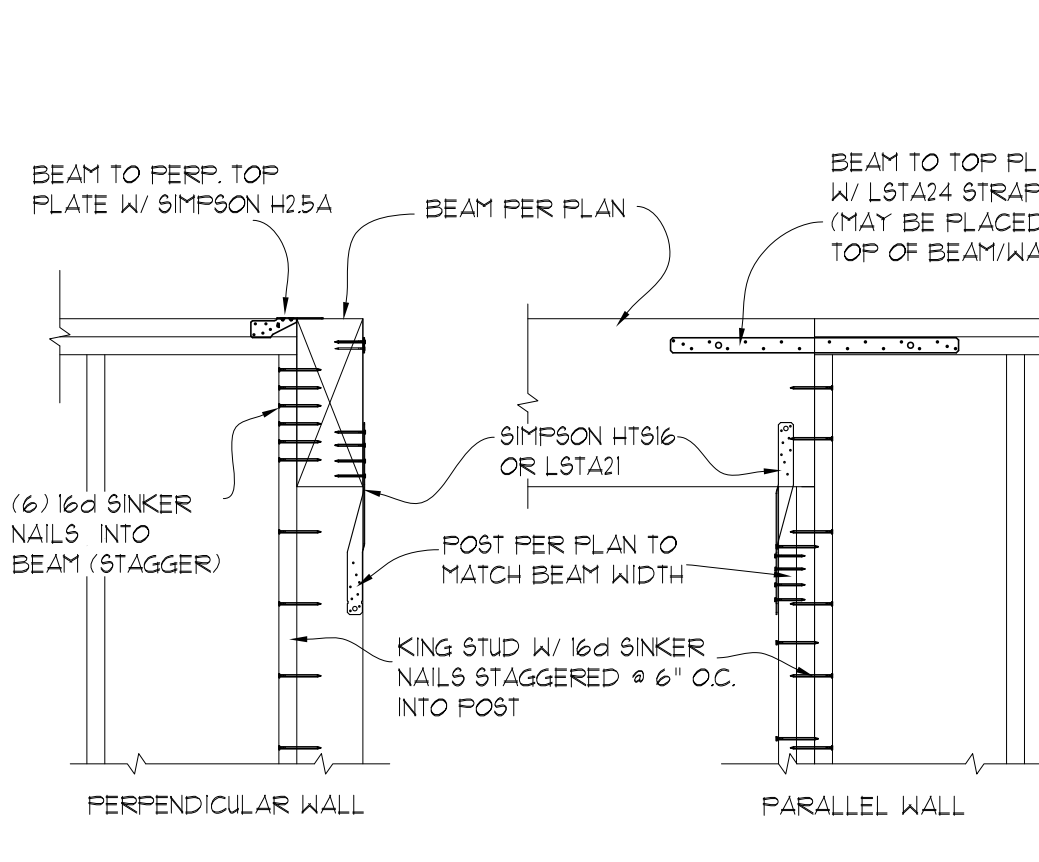
65 FLOOR JOIST AT INT. WALL OR BEAM
SCALE: 3/4"=1"



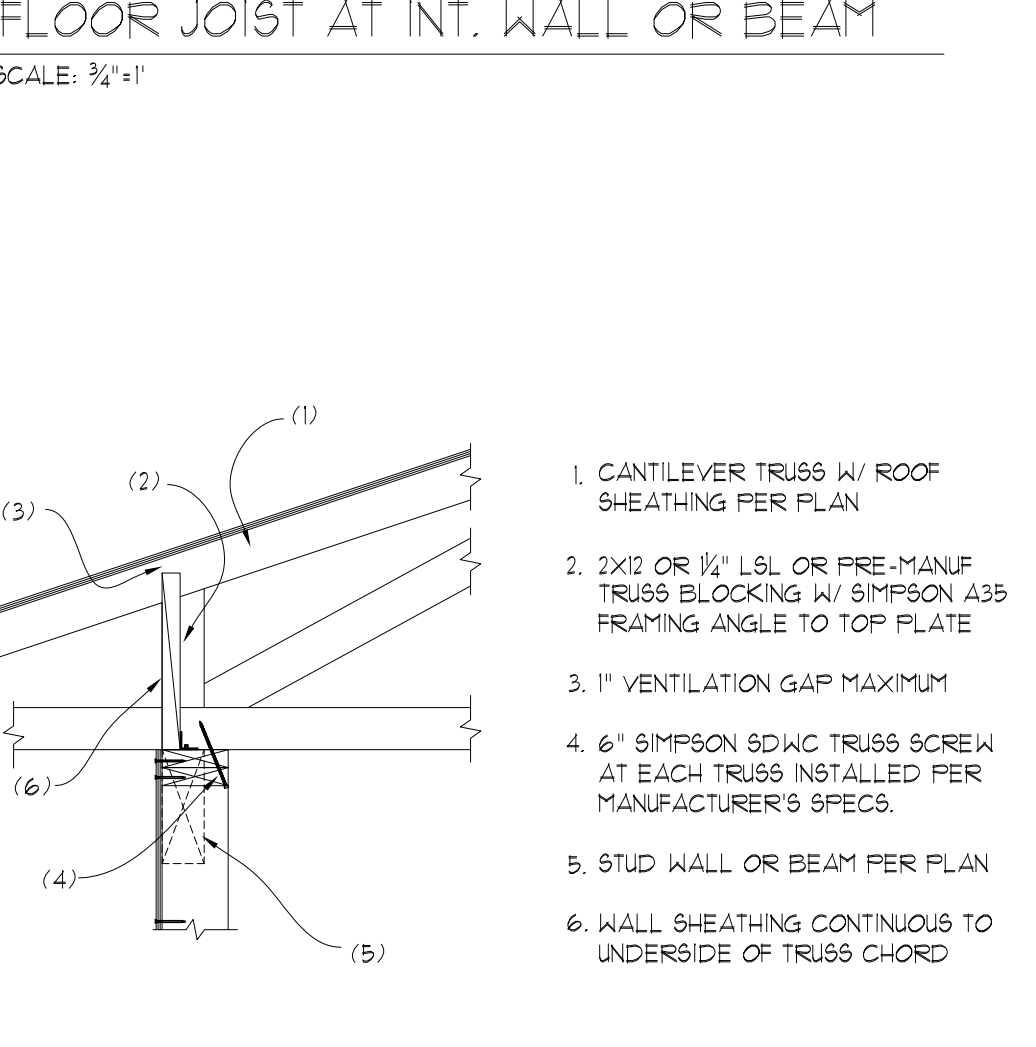
66 WOOD BEAM AT WOOD POST
SCALE: 3/4"=1"



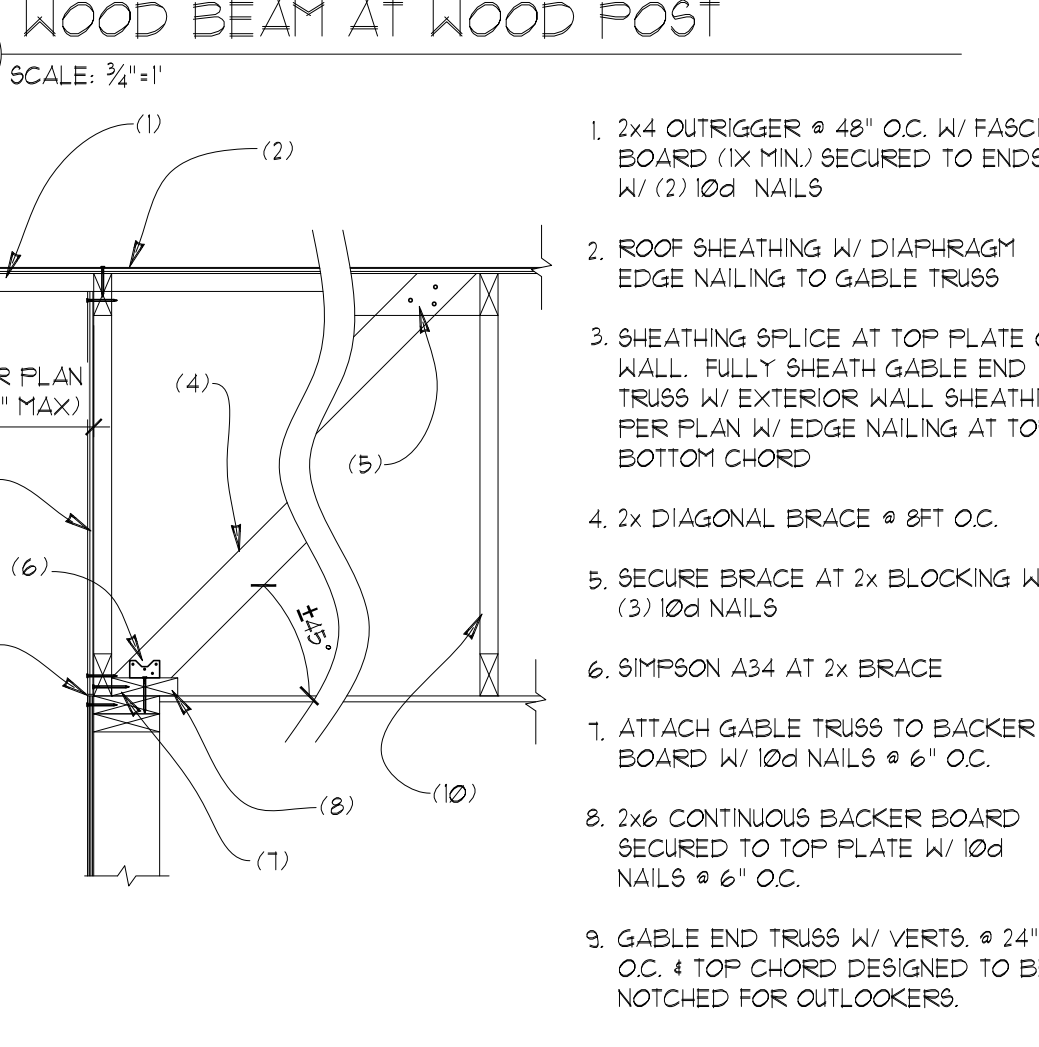
67 BEAM POCKET AT WALL
SCALE: 3/4"=1"



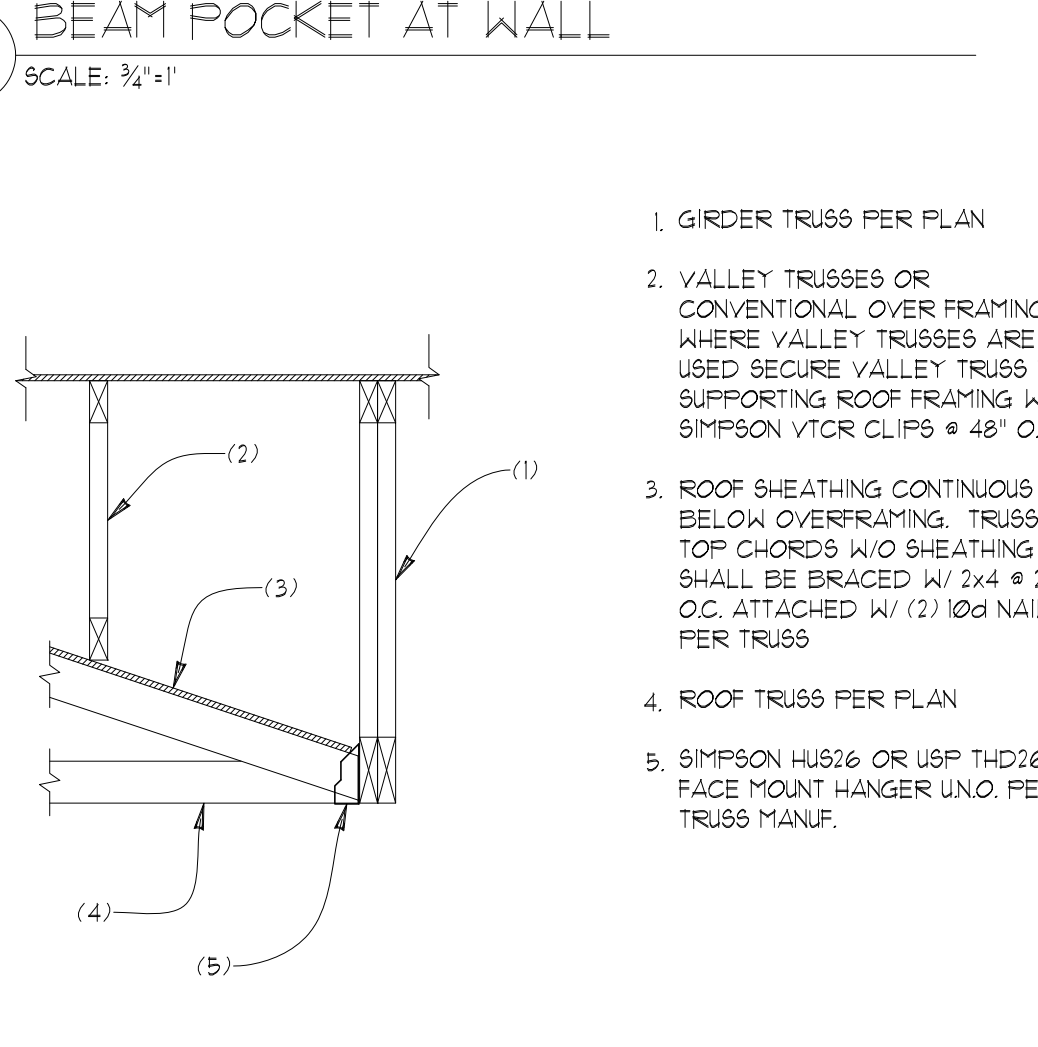
68 BEAM POCKET AT CORNER
SCALE: 3/4"=1"



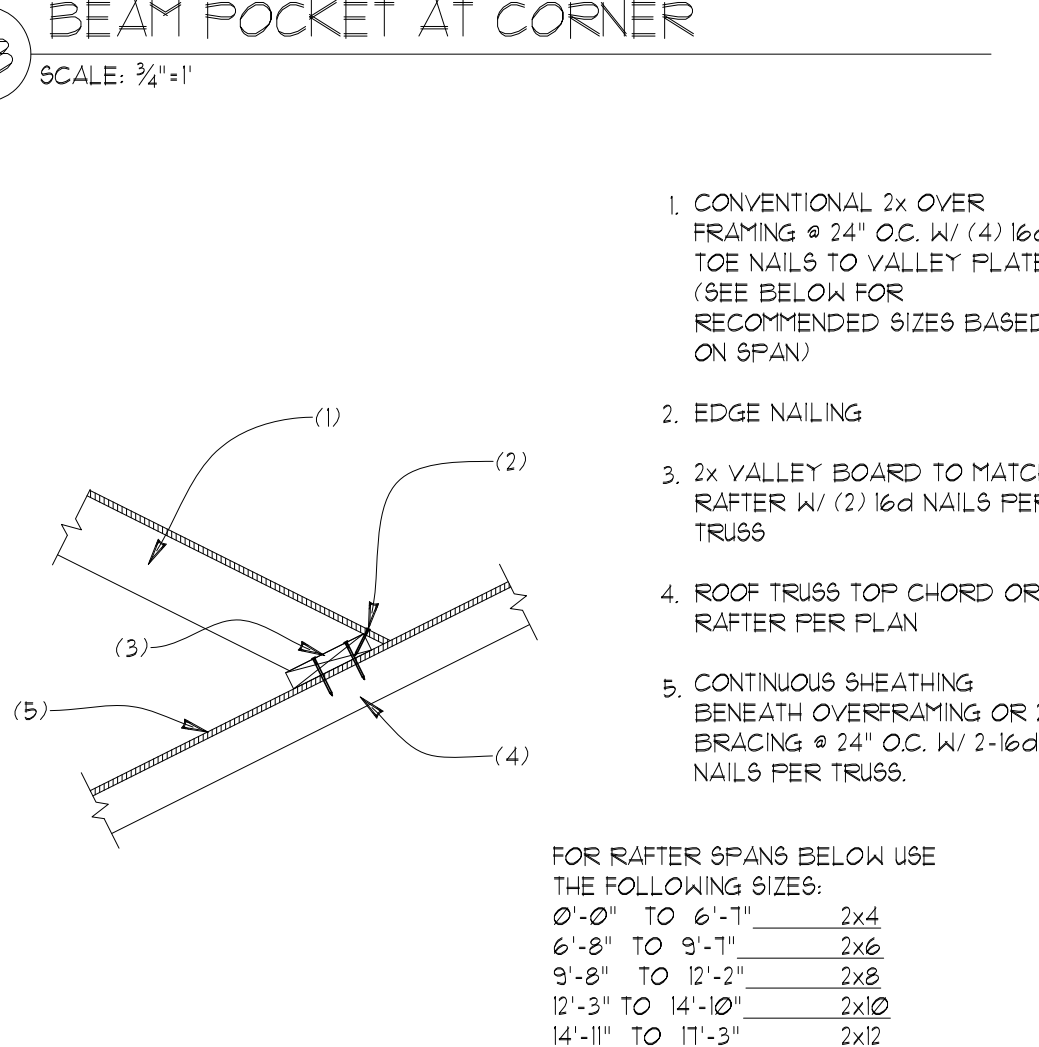
69 CANTILEVER HEEL OPTION AT BEARING
SCALE: 3/4"=1"



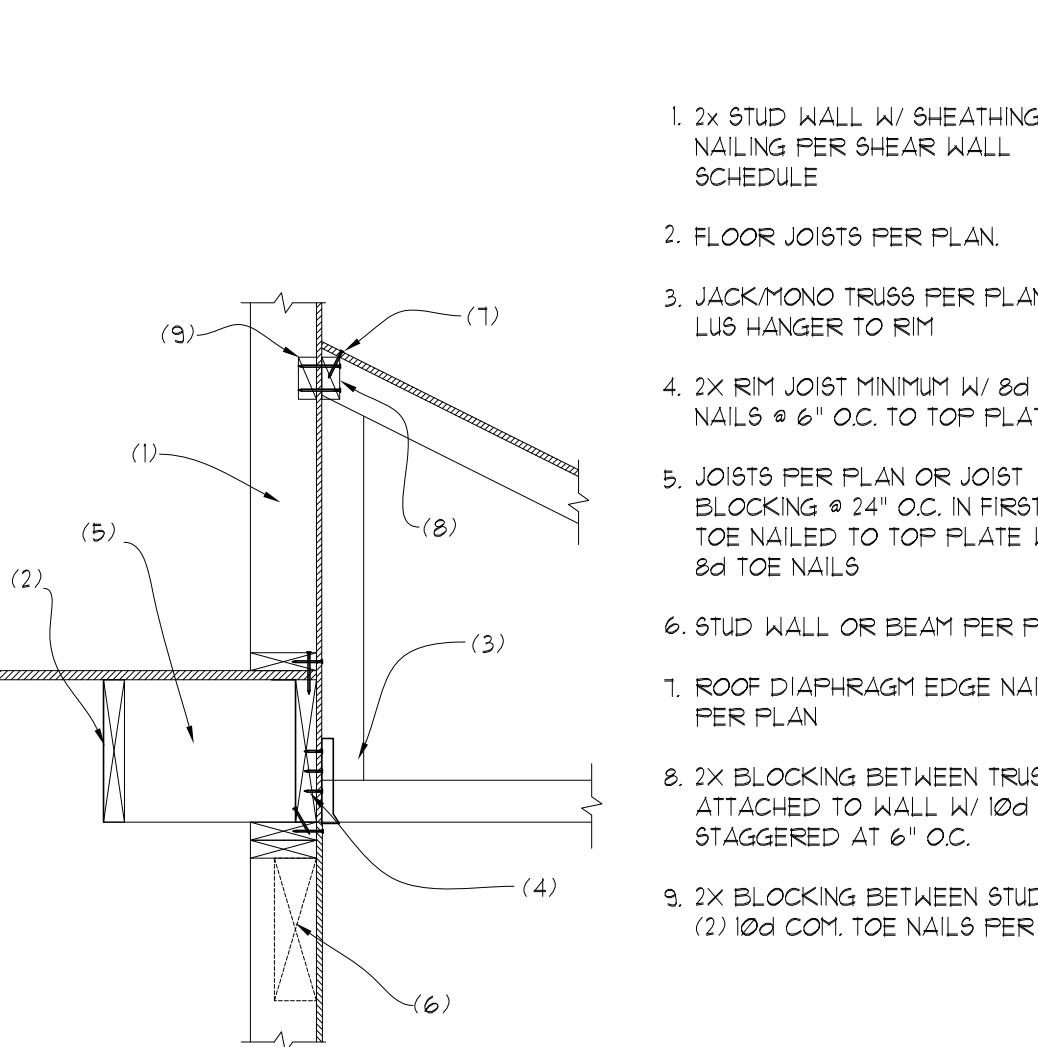
70 GABLE END TRUSS
SCALE: 3/4"=1"



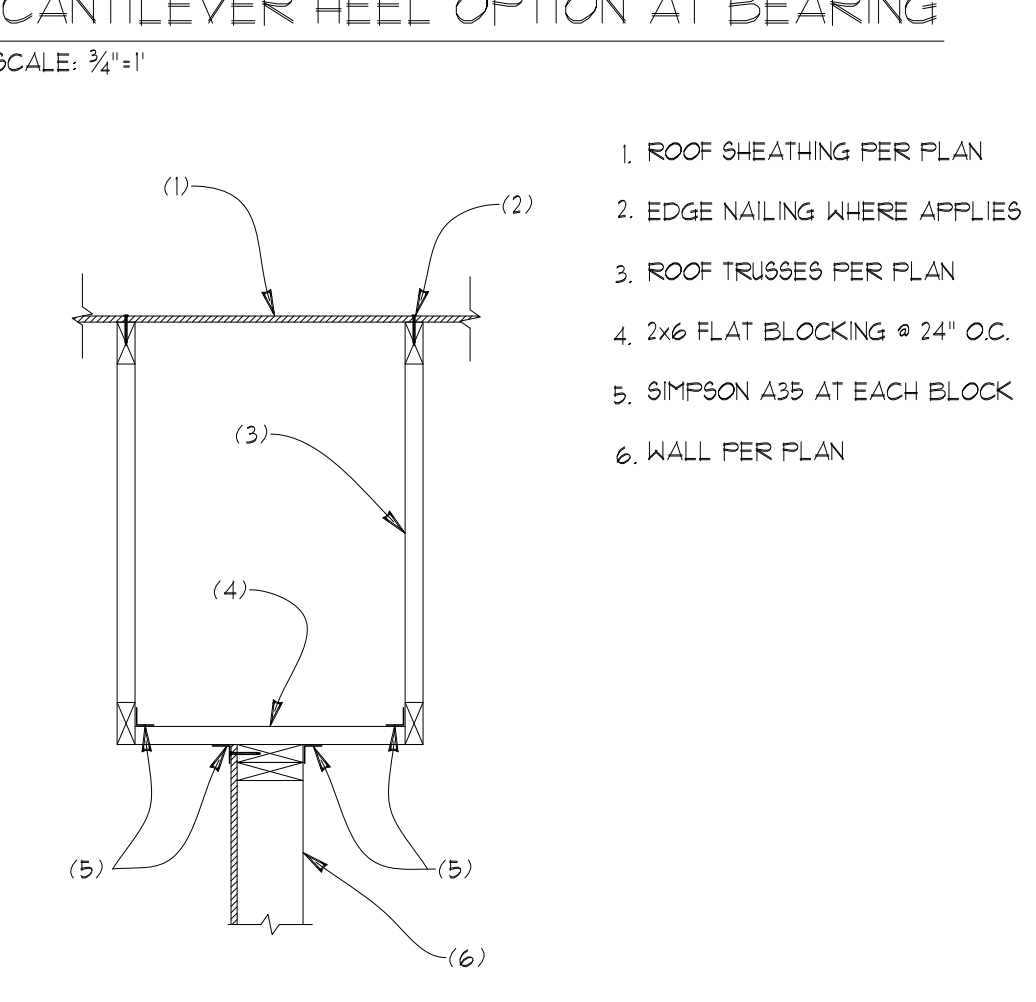
71 GIRDER TRUSS AT OVERFRAMING
SCALE: 3/4"=1"



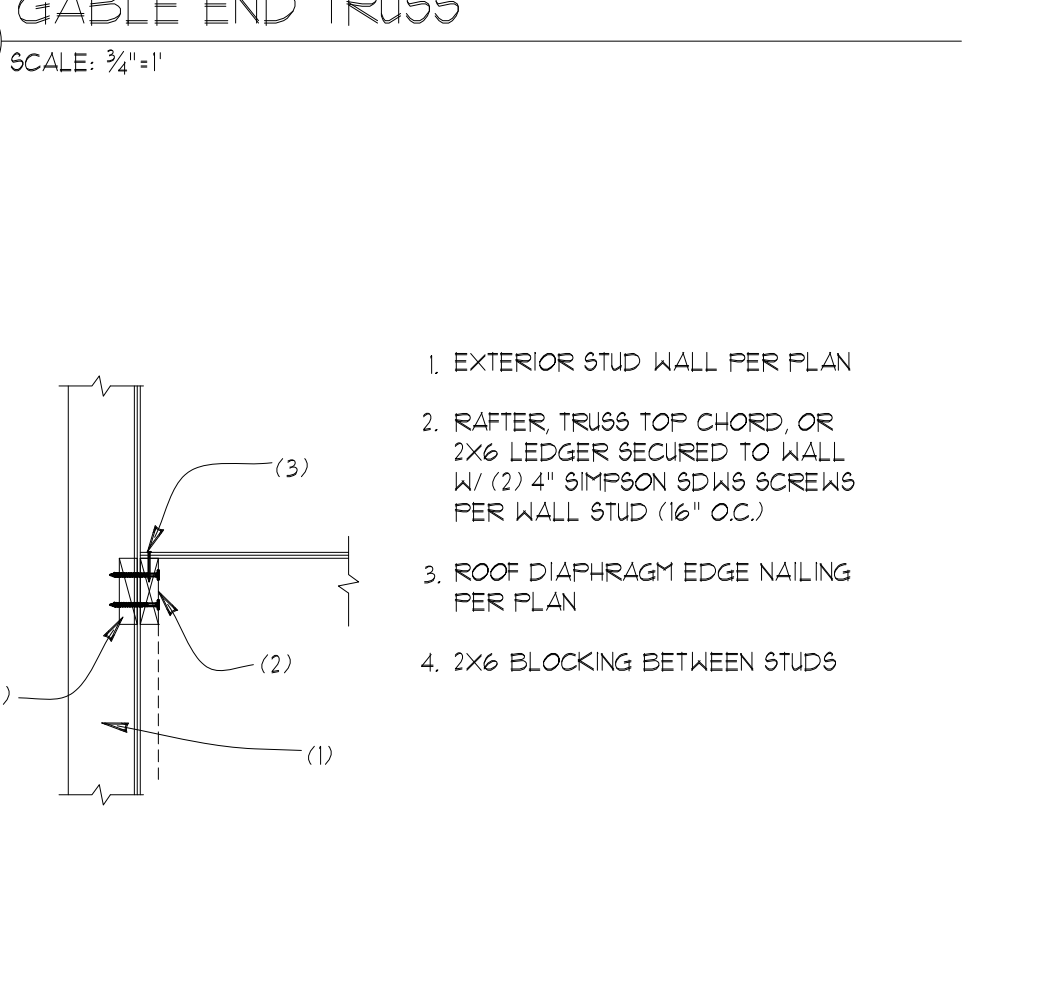
72 VALLEY FRAMING
SCALE: 3/4"=1"



73 MONO/JACK TRUSS TO RIM
SCALE: 3/4"=1"



74 BRACING TOP OF EXT. WALL @ PORCH
SCALE: 3/4"=1"



75 ROOF DIAPHRAGM TO WALL
SCALE: 3/4"=1"

STRUCTURAL PLANS
RKK CONSTRUCTION
CHASE'S CORNER - LOT 2
MERCER ISLAND, WA

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Digitally signed by Mark Myers, PE
Date: 2022.05.04 13:46:51 -0700

BUILDING DEPT. APPROVAL STAMPS:

REVISION:	INIT:	DATE:
GARAGE ROOF	MM	5-4-2022

S4	DATE:	12-14-2021
	INIT:	MM
	PROJECT #:	2406